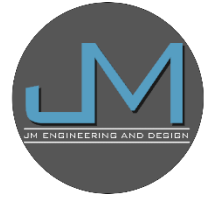


# **PINECREST COVE – PHASE 2**

## **REQUEST FOR ZONING CHANGE**



**April 15, 2025**

Joel Hollowell  
Director of Development Services  
300 North Lamar Boulevard  
Oxford, MS 38655

RE: Zoning Change Request for PPIN 36372

Dear Mr. Hollowell,

I would like to request a Zoning Change on behalf of the owner of PPIN 36372 on Campground Road (CR 217). This property is approximately 51.19AC with only tract 1 asked to be rezoned (3.34 AC); and is currently zoned R-2. The owner is seeking a zoning change from A-1 Rural to C-2 Commercial. Section 2106.3.A in the Lafayette County Zoning Ordinance states “that the character of the neighborhood has changed to such an extent as to justify reclassification, and that there is a public need for the rezoning.”

The applicant is seeking to construct a commercial development on the property. The owner feels that this location is a great location for C-2 zoning due to its proximity to the City of Oxford (city limits) and existing utilities that already serve the property. The Lafayette County Future Land Use Map, shows the future zoning of the property to be R-2 Residential.

### **Change in Character of the Area**

Since the adoption of the Lafayette County Zoning Map in 2017, the surrounding area has experienced substantial and transformative infrastructure improvements that have significantly altered the character and development potential of this corridor. Most notably, the installation of a signalized intersection at MS Highway 30 and Campground Road have created a major transportation node immediately adjacent to the subject property.

These improvements have:

- Increased accessibility and traffic capacity along the corridor
- Positioned the site as a key gateway into the eastern portion of Lafayette County
- Transitioned the area from predominantly rural in nature to a corridor with strong commercial development potential

The subject property now functions more as part of an emerging commercial corridor rather than a traditional rural landscape. The presence of major roadway infrastructure and signalization supports higher-intensity land uses and is inconsistent with the long-term continuation of A-1 Rural zoning.

## **Public Need for Rezoning**

There is a demonstrated public need for additional commercial zoning within Lafayette County, particularly near the Highway 30 corridor. This lack of appropriately zoned property limits opportunities for commercial growth, economic development, and the expansion of services to meet the needs of a growing population.

Rezoning this property to C-2 would:

- Provide a designated location for higher-intensity commercial uses within the County
- Support continued economic growth in the Oxford area
- Reduce pressure for piecemeal commercial encroachment into residential or rural areas
- Take advantage of existing infrastructure investments, including roadway capacity and available utilities

The subject property is uniquely suited to accommodate such uses due to its size, frontage near a major highway, and access to existing utility services.

## **Consistency with Future Land Use Considerations**

The Lafayette County Future Land Use Map designates the property as R-2.

Commercial zoning at this location would:

- Serve as a transitional land use between more intense roadway infrastructure and surrounding development
- Provide nearby services that would support future residential growth in the area
- Align with typical planning principles that place commercial uses at major intersections and along arterial roadways

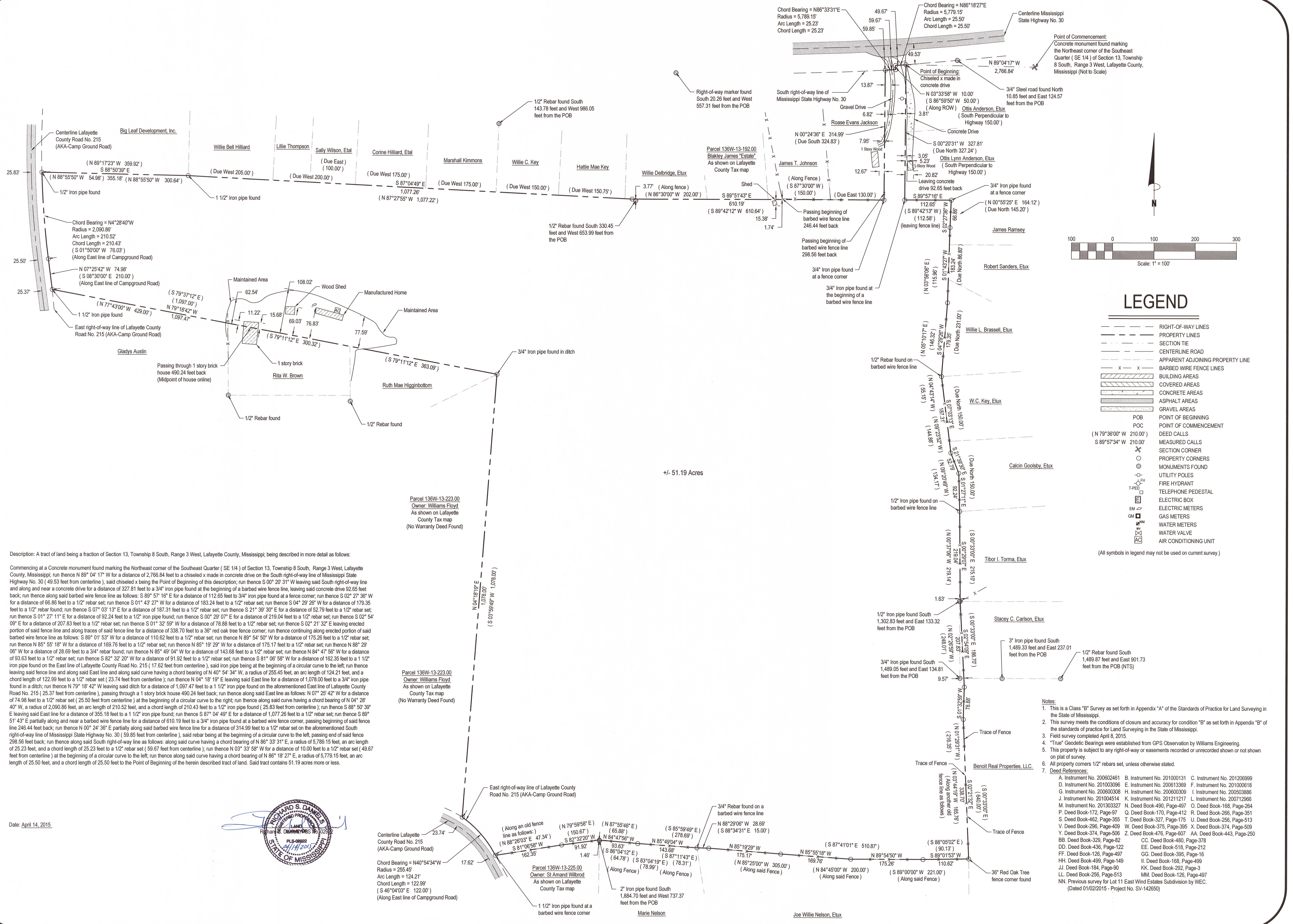
## **Conclusion**

Based on the substantial change in area character since 2017 and the clear public need for C-2 zoned property within Lafayette County, the requested rezoning from R-2 to C-2 Commercial is both justified and appropriate. The subject property's location, access, and surrounding infrastructure make it an ideal candidate for this classification.

The applicant respectfully requests favorable consideration of this rezoning request.

Sincerely,

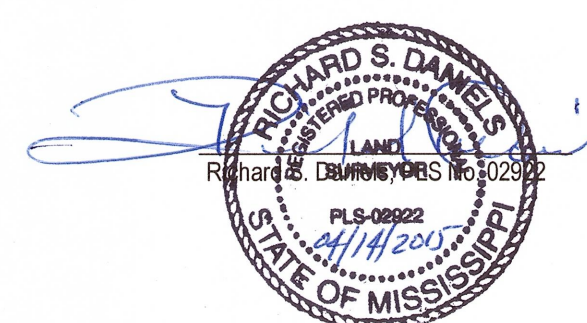
Joseph Moore, P.E.  
Owner / Senior Engineer  
JM Engineering and Design, LLC



Description: A tract of land being a fraction of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; being described in more detail as follows:

Commencing at a Concrete monument found marking the Northeast corner of the Southeast Quarter (SE 1/4) of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; run thence N 89° 04' 17" W for a distance of 2,766.84 feet to a chiseled x made in concrete drive on the South right-of-way line of Mississippi State Highway No. 30 (49.53 feet from centerline), said chiseled x being the Point of Beginning of this description; run thence S 00° 20' 31" W leaving said South right-of-way line and along and near a concrete drive for a distance of 327.81 feet to a 3/4" iron pipe found at the beginning of a barbed wire fence line, leaving said concrete drive 92.65 feet back; run thence along said barbed wire fence line as follows: S 89° 57' 16" E for a distance of 112.65 feet to a 3/4" iron pipe found at a fence corner; run thence S 02° 27' 36" W for a distance of 66.86 feet to a 1/2" rebar set; run thence S 01° 43' 27" W for a distance of 183.24 feet to a 1/2" rebar set; run thence S 04° 29' 26" W for a distance of 179.35 feet to a 1/2" rebar set; run thence S 07° 03' 13" E for a distance of 187.31 feet to a 1/2" rebar set; run thence S 21° 39' 30" E for a distance of 52.79 feet to a 1/2" rebar set; run thence S 01° 27' 11" E for a distance of 92.24 feet to a 1/2" iron pipe found; run thence S 00° 29' 07" E for a distance of 219.04 feet to a 1/2" rebar set; run thence S 02° 54' 09" E for a distance of 207.83 feet to a 1/2" rebar set; run thence S 01° 32' 59" W for a distance of 78.88 feet to a 1/2" rebar set; run thence S 02° 21' 32" E leaving erected portion of said fence line and along traces of said fence line for a distance of 338.70 feet to a 3/6" red oak tree fence corner; run thence continuing along erected portion of said barbed wire fence line as follows: S 89° 01' 53" W for a distance of 110.62 feet to a 1/2" rebar set; run thence N 89° 54' 50" W for a distance of 175.26 feet to a 1/2" rebar set; run thence N 85° 55' 18" W for a distance of 169.76 feet to a 1/2" rebar set; run thence N 85° 19' 29" W for a distance of 175.17 feet to a 1/2" rebar set; 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Said tract contains 51.19 acres more or less.

Date: April 14, 2015

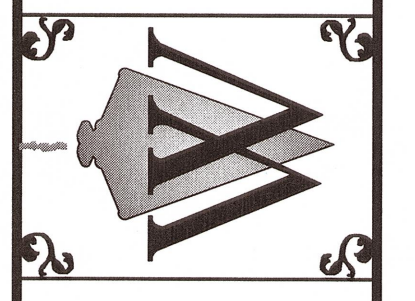


- Notes:
- This is a Class "B" Survey as set forth in Appendix "A" of the Standards of Practice for Land Surveying in the State of Mississippi.
  - This survey meets the conditions of closure and accuracy for condition "B" as set forth in Appendix "B" of the standards of practice for Land Surveying in the State of Mississippi.
  - Field survey completed April 8, 2015.
  - "True" Geodetic Bearings were established from GPS Observation by Williams Engineering.
  - This property is subject to any right-of-way or easements recorded or unrecorded shown or not shown on plat of survey.
  - All property corners 1/2" rebar sets, unless otherwise stated.
  - Deed References:
    - A. Instrument No. 200602461 B. Instrument No. 201000131 C. Instrument No. 201206999
    - D. Instrument No. 201003096 E. Instrument No. 200613369 F. Instrument No. 201000618
    - G. Instrument No. 200600308 H. Instrument No. 200600309 I. Instrument No. 200503886
    - J. Instrument No. 201004514 K. Instrument No. 201212121 L. Instrument No. 200712966
    - M. Instrument No. 201303327 N. Deed Book-490, Page-497 O. Deed Book-168, Page-264
    - P. Deed Book-172, Page-97 Q. Deed Book-170, Page-412 R. Deed Book-266, Page-351
    - S. Deed Book-462, Page-355 T. Deed Book-327, Page-175 U. Deed Book-256, Page-513
    - V. Deed Book-296, Page-409 W. Deed Book-375, Page-395 X. Deed Book-374, Page-509
    - Y. Deed Book-374, Page-506 Z. Deed Book-476, Page-607 AA. Deed Book-443, Page-250
    - BB. Deed Book-329, Page-82 CC. Deed Book-480, Page-378
    - DD. Deed Book-436, Page-122 EE. Deed Book-518, Page-212
    - FF. Deed Book-126, Page-497 GG. Deed Book-395, Page-16
    - HH. Deed Book-499, Page-149 II. Deed Book-168, Page-499
    - JJ. Deed Book-184, Page-90 KK. Deed Book-292, Page-3
    - LL. Deed Book-256, Page-513 MM. Deed Book-126, Page-497
    - NN. Previous survey for Lot 11 East Wind Estates Subdivision by WEC. (Dated 01/02/2015 - Project No. SV-142620)

### LEGEND

- RIGHT-OF-WAY LINES
  - PROPERTY LINES
  - - - SECTION TIE
  - CENTERLINE ROAD
  - - - APPARENT ADJOINING PROPERTY LINE
  - x x BARBED WIRE FENCE LINES
  - ▨ BUILDING AREAS
  - ▨ COVERED AREAS
  - ▨ CONCRETE AREAS
  - ▨ ASPHALT AREAS
  - ▨ GRAVEL AREAS
  - POB
  - POC
  - DEED CALLS
  - MEASURED CALLS
  - SECTION CORNER
  - PROPERTY CORNERS
  - MONUMENTS FOUND
  - UTILITY POLES
  - FIRE HYDRANT
  - TELEPHONE PEDESTAL
  - ELECTRIC BOX
  - ELECTRIC METERS
  - GAS METERS
  - WATER METERS
  - WATER VALVE
  - AIR CONDITIONING UNIT
- (All symbols in legend may not be used on current survey.)

WILLIAMS ENGINEERING CONSULTANTS, INC.  
 Professional Engineers | Professional Land Surveyors  
 770 NORTH LAMAR BOULEVARD, SUITE A  
 P.O. BOX 1197 OXFORD, MISSISSIPPI 38655  
 662.286.9875



Boundary Survey For:  
 Oxford Affordable Living  
 A tract of land being a fraction of Section 13,  
 Township 8 South, Range 3 West,  
 Lafayette County, Mississippi

REVISION	DATE

Scale: 1" = 100'

Date: 04/14/2015

File: SD-152703 (Oxford Affordable Living-Camp Ground Survey.dwg)

Proj. No.: SD-152703

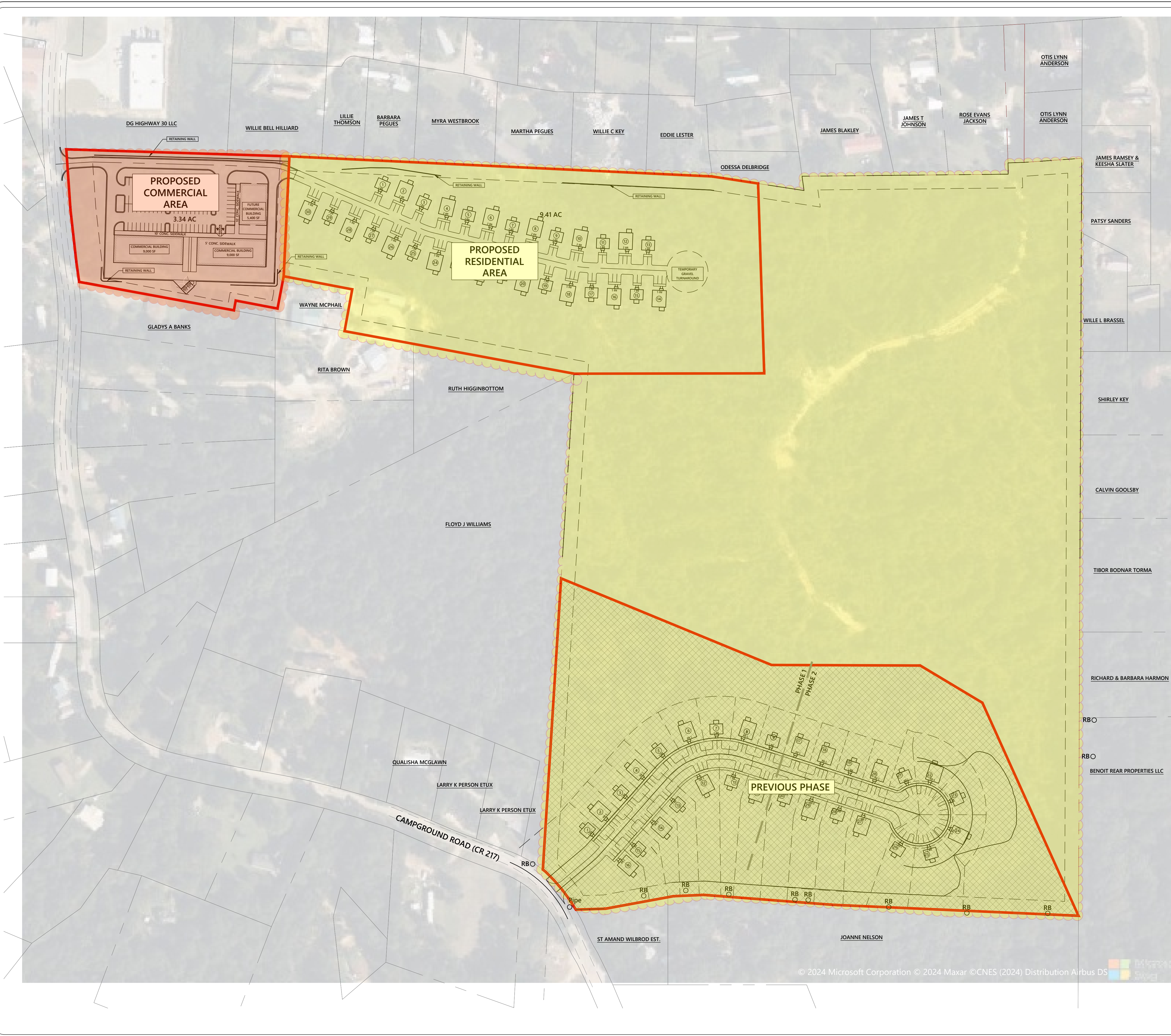
Drawn By: JCP

Checked By: RSD

Sheet Title:

Boundary Survey

Sheet No.: 1



**SITE DATA TABLE**

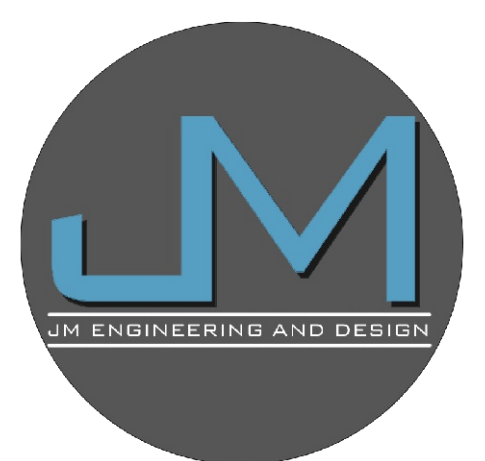
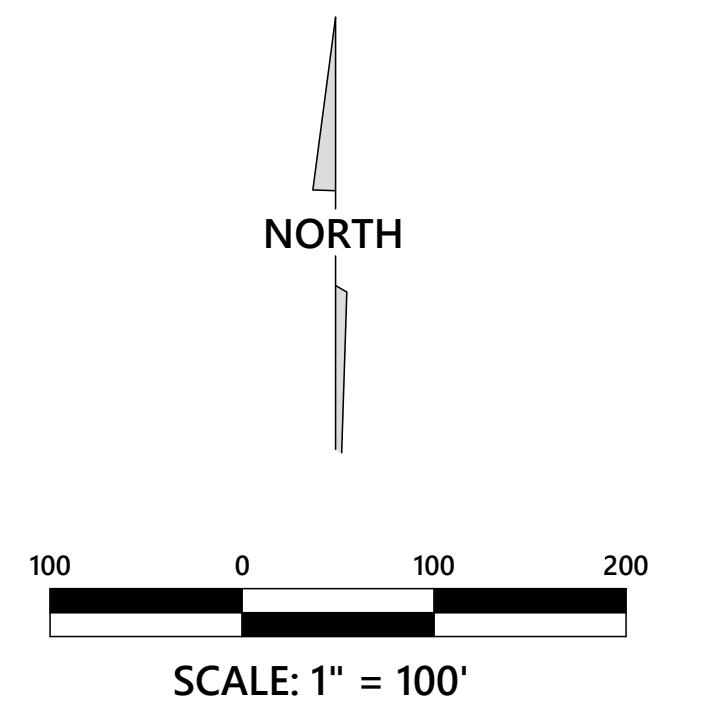
**PROPERTY AREA:** 8.14 AC

**ZONING:** PUD  
 3.34 AC - COMMERCIAL  
 9.41 AC - RESIDENTIAL

**SETBACKS:**  
 FRONT: 30'  
 SIDE: 10'  
 REAR: 10'

**BUILDING INFORMATION:**  
 23,400 SF ~ COMMERCIAL BUILDINGS (91 PARKING SPACES)  
 15 - 1 BEDROOM UNITS  
 15 - 2 BEDROOM UNITS

The developer, JJM Holdings, LLC, hereby grant a non-exclusive easement for ingress/egress to Lafayette County, Mississippi across the private roads owned by the Home Owners Association for the use of its employees in the normal scope of business activities related to typical services provided by the county, including, fire, school busses, garbage collection, emergency services, policing and other similar activities so long as the development is under the jurisdiction of the county. The owner/s agrees to hold Lafayette County harmless for normal wear and tear and damage to the roads and common areas resulting from or caused by Lafayette County employees engaged in providing county services.



**JM ENGINEERING AND DESIGN, LLC**  
 OXFORD, MS  
 (662) 801-8803

**SITE PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 100'
REVISION	

**C-100**

# **PINECREST COVE**

## **Planned Unit Development (PUD) Narrative**

Lafayette County, Mississippi

Prepared By: JM Engineering and Design, LLC

Owner: Josh Matthews

Date: April 14, 2026

## **1. General Information**

Pinecrest Cove is a master-planned residential community located on approximately 51.19 acres along Campground Road in Lafayette County, Mississippi. The development is designed as a cohesive expansion of an existing residential community and incorporates a limited, neighborhood-serving commercial component.

## **2. Purpose and Intent**

The intent of Pinecrest Cove is to deliver a high-quality, thoughtfully integrated workforce housing community that builds upon the existing development pattern established on the site. The project incorporates approximately 30 existing residential units and expands the community with additional cottage-style homes that maintain architectural continuity and neighborhood cohesion.

The development emphasizes efficient land utilization, compatibility with surrounding land uses, and long-term flexibility through the Planned Unit Development framework. A carefully scaled 3.34-acre commercial component is included to provide convenient, low-impact services to residents and the surrounding area.

A future connection to Highway 30 is planned to enhance regional connectivity and support long-term infrastructure planning.

## **3. Land Use Plan**

The total project area is approximately 51.19 acres, consisting of:

- 47.85 acres of residential development
- 3.34 acres of neighborhood-scale commercial use

The residential component will include approximately 210 total units, resulting in a density of approximately 4.5 units per acre. The commercial component is designed for small-scale service uses such as personal care and convenience retail.

The integration of uses creates a cohesive environment where residential living is supported by accessible neighborhood services without introducing regional-scale impacts.

## **4. Site Conditions and Location**

The site is located along Campground Road with planned future access to Highway 30. The surrounding area consists of a mix of residential and undeveloped land typical of Lafayette County. The property includes existing development and is well-suited for continued residential expansion.

## **5. Zoning and Compatibility**

The property is currently zoned R-2. The proposed PUD maintains a residential character while incorporating a limited commercial component designed to be compatible with surrounding uses. The development represents a logical and orderly continuation of existing land use patterns.

## **6. Development Standards**

- Maximum Units: 210
- Density: ~4.5 units/acre
- Lot Size: ~7,500 SF
- Setbacks: Front 30', Side 10', Rear 10'
- Building Separation: 20'
- Height: Up to 2 stories

These standards provide a balance between efficient land use and neighborhood compatibility while allowing flexibility within the PUD framework.

## **7. Infrastructure**

The development will be served by private streets with primary access from Campground Road and a future connection to Highway 30. Stormwater will be managed on a phase-by-phase basis with detention systems designed to meet regulatory requirements.

Water service will be provided by Campground Water Association. Wastewater will be handled through individual on-site treatment systems in compliance with Mississippi State Department of Health regulations.

## **8. Phasing Plan**

The development may be constructed in multiple phases. Each phase will include required infrastructure, access, and stormwater management systems to function independently.

## **9. Traffic Statement**

Traffic generated by the development is expected to be consistent with a medium-density residential community. The commercial component is neighborhood-serving and will not significantly impact traffic volumes. The future Highway 30 connection will further improve traffic distribution.

## **10. Exhibits**

- Legal Description
- Vicinity Map
- Aerial Map
- Zoning Map
- Land Use Plan
- Elevations

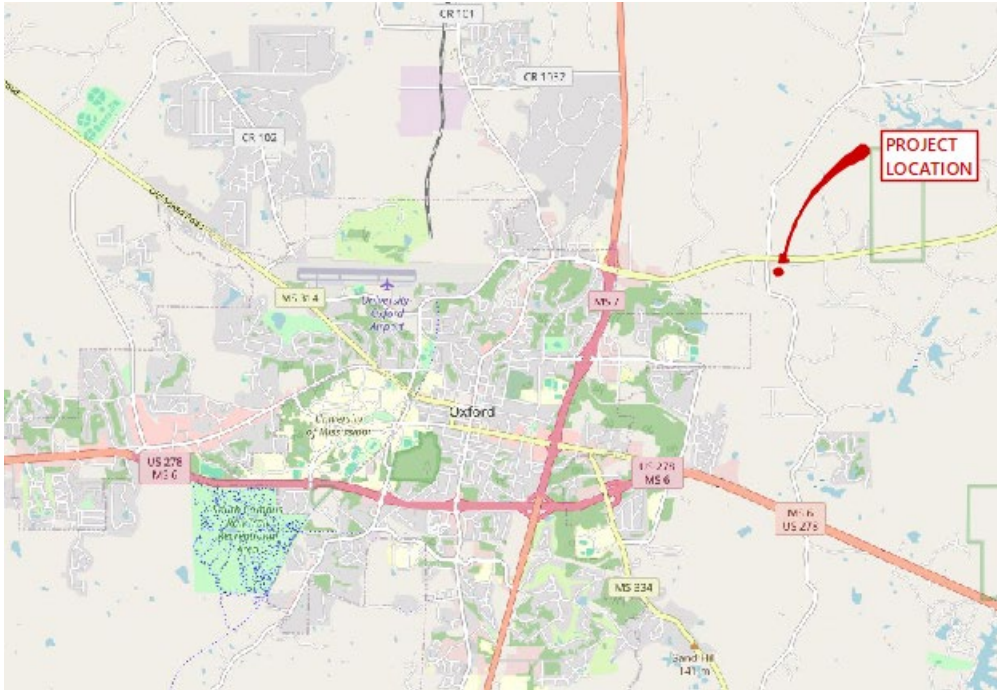
## LEGAL DESCRIPTION:

Description: A tract of land being a fraction of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; being described in more detail as follows:

Commencing at a Concrete monument found marking the Northeast corner of the Southeast Quarter ( SE 1/4 ) of Section 13, Township 8 South, Range 3 West, Lafayette County, Mississippi; run thence N 89° 04' 17" W for a distance of 2,766.84 feet to a chiseled x made in concrete drive on the South right-of-way line of Mississippi State Highway No. 30 ( 49.53 feet from centerline ), said chiseled x being the Point of Beginning of this description; run thence S 00° 20' 31" W leaving said South right-of-way line and along and near a concrete drive for a distance of 327.81 feet to a 3/4" iron pipe found at the beginning of a barbed wire fence line, leaving said concrete drive 92.65 feet back; run thence along said barbed wire fence line as follows: S 89° 57' 16" E for a distance of 112.65 feet to 3/4" iron pipe found at a fence corner; run thence S 02° 27' 36" W for a distance of 66.86 feet to a 1/2" rebar set; run thence S 01° 43' 27" W for a distance of 183.24 feet to a 1/2" rebar set; run thence S 04° 29' 26" W for a distance of 179.35 feet to a 1/2" rebar found; run thence S 07° 03' 13" E for a distance of 187.31 feet to a 1/2" rebar set; run thence S 21° 39' 30" E for a distance of 52.79 feet to a 1/2" rebar set; run thence S 01° 27' 11" E for a distance of 92.24 feet to a 1/2" iron pipe found; run thence S 00° 29' 07" E for a distance of 219.04 feet to a 1/2" rebar set; run thence S 02° 54' 09" E for a distance of 207.83 feet to a 1/2" rebar set; run thence S 01° 32' 59" W for a distance of 78.88 feet to a 1/2" rebar set; run thence S 02° 21' 32" E leaving erected portion of said fence line and along traces of said fence line for a distance of 338.70 feet to a 36" red oak tree fence corner; run thence continuing along erected portion of said barbed wire fence line as follows: S 89° 01' 53" W for a distance of 110.62 feet to a 1/2" rebar set; run thence N 89° 54' 50" W for a distance of 175.26 feet to a 1/2" rebar set; run thence N 85° 55' 18" W for a distance of 169.76 feet to a 1/2" rebar set; run thence N 85° 19' 29" W for a distance of 175.17 feet to a 1/2" rebar set; run thence N 88° 29' 06" W for a distance of 28.69 feet to a 3/4" rebar found; run thence N 85° 49' 04" W for a distance of 143.68 feet to a 1/2" rebar set; run thence N 84° 47' 56" W for a distance of 93.63 feet to a 1/2" rebar set; run thence S 82° 32' 20" W for a distance of 91.92 feet to a 1/2" rebar set; run thence S 81° 06' 58" W for a distance of 162.35 feet to a 1 1/2" iron pipe found on the East line of Lafayette County Road No. 215 ( 17.62 feet from centerline ), said iron pipe being at the beginning of a circular curve to the left; run thence leaving said fence line and along said East line and along said curve having a chord bearing of N 40° 54' 34" W, a radius of 255.45 feet, an arc length of 124.21 feet, and a chord length of 122.99 feet to a 1/2" rebar set ( 23.74 feet from centerline ); run thence N 04° 18' 19" E leaving said East line for a distance of 1,078.00 feet to a 3/4" iron pipe found in a ditch; run thence N 79° 18' 42" W leaving said ditch for a distance of 1,097.47 feet to a 1 1/2" iron pipe found on the aforementioned East line of Lafayette County Road No. 215 ( 25.37 feet from centerline ), passing through a 1 story brick house 490.24 feet back; run thence along said East line as follows: N 07° 25' 42" W for a distance of 74.98 feet to a 1/2" rebar set ( 25.50 feet from

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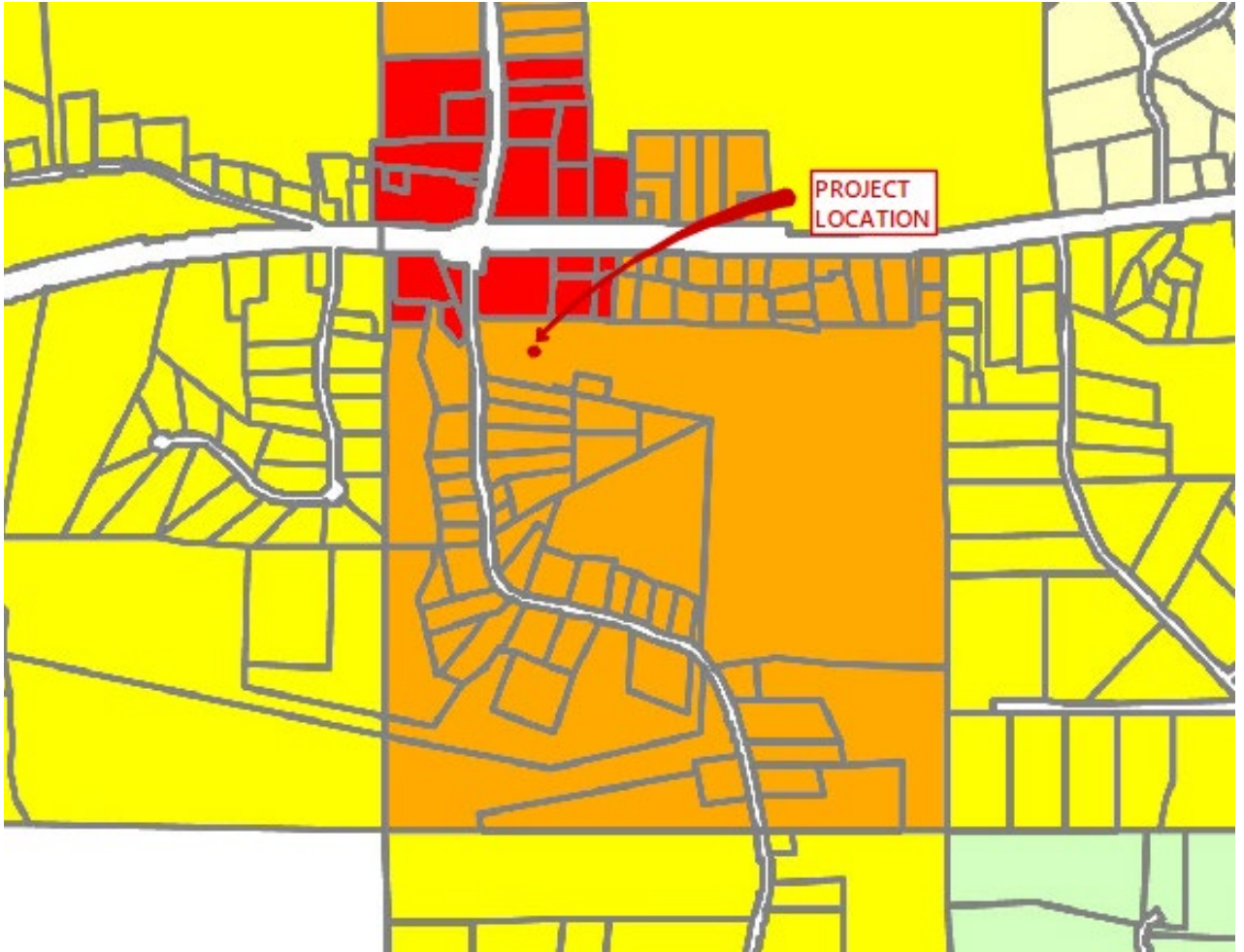
## VICINITY MAP



## AERIAL MAP



## ZONING MAP

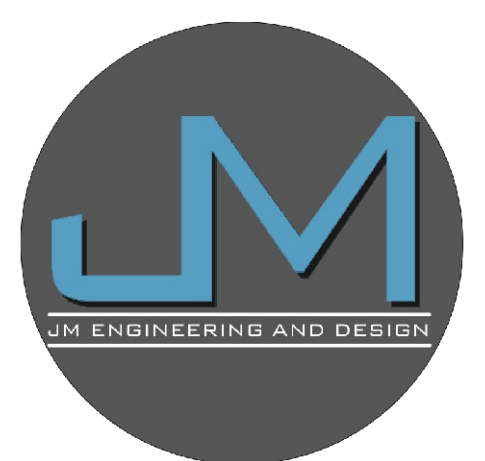
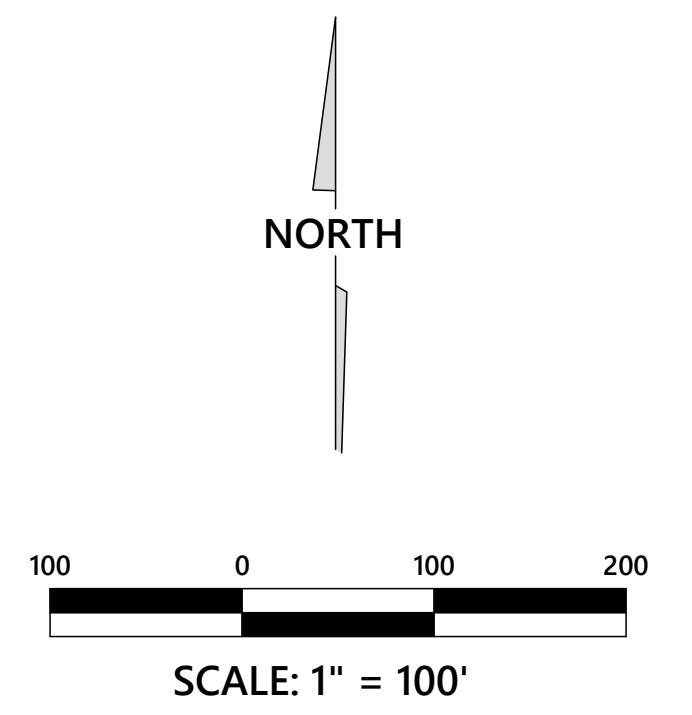


## LAND USE PLAN



SITE DATA TABLE	
PROPERTY AREA:	8.14 AC
ZONING:	PUD
	3.34 AC - COMMERCIAL
	9.41 AC - RESIDENTIAL
SETBACKS:	
	FRONT: 30'
	SIDE: 10'
	REAR: 10'
BUILDING INFORMATION:	
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	15 - 1 BEDROOM UNITS
	15 - 2 BEDROOM UNITS

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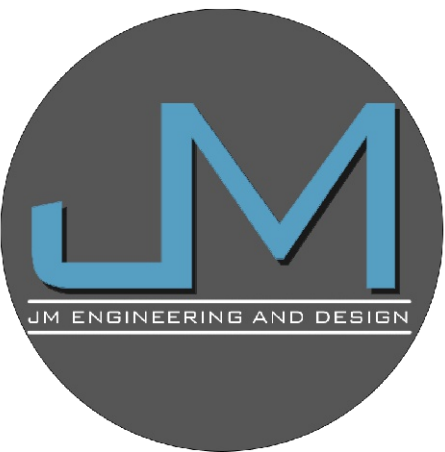
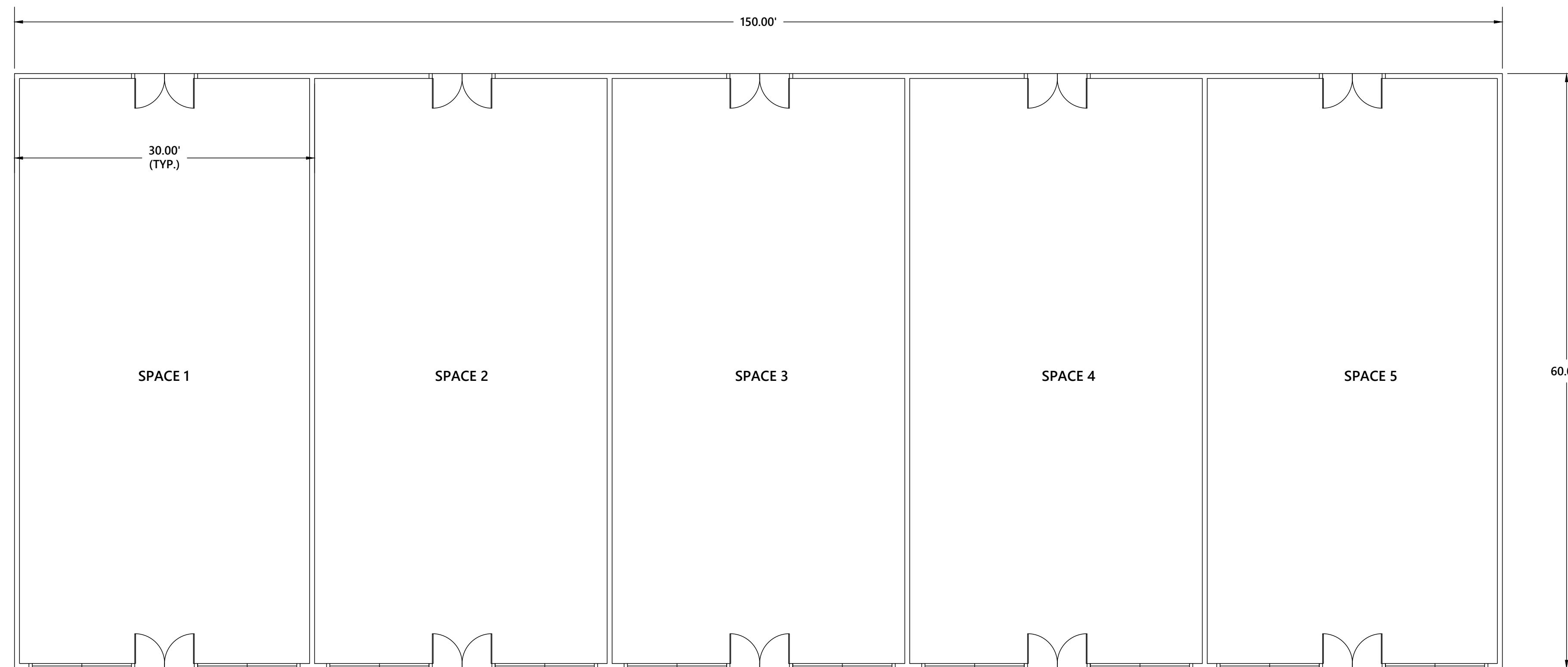
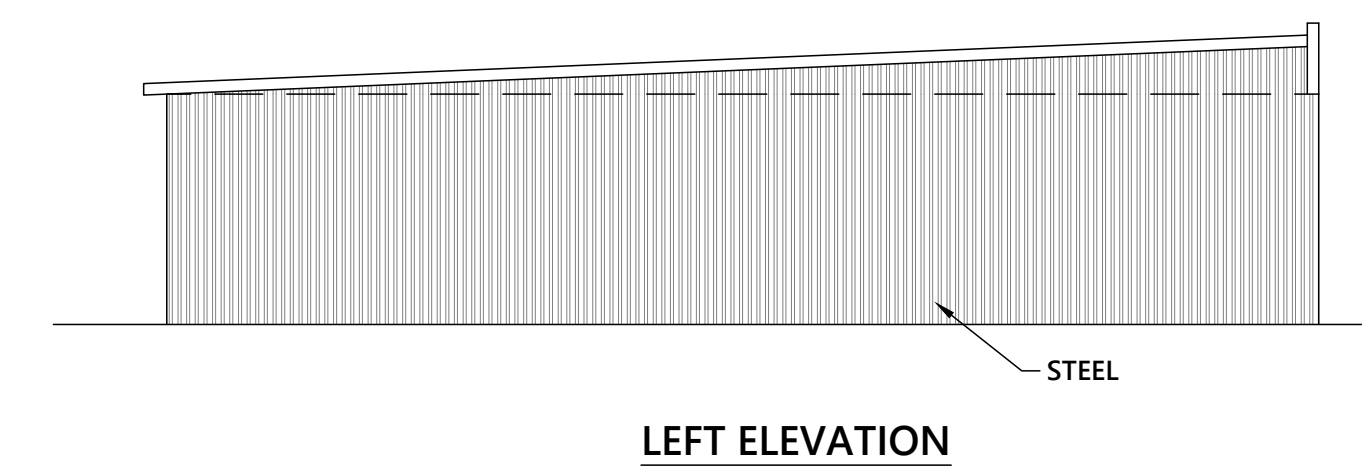
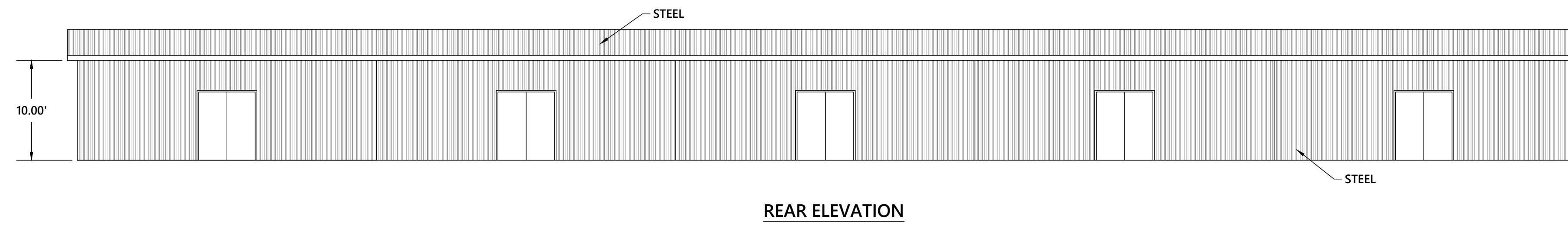
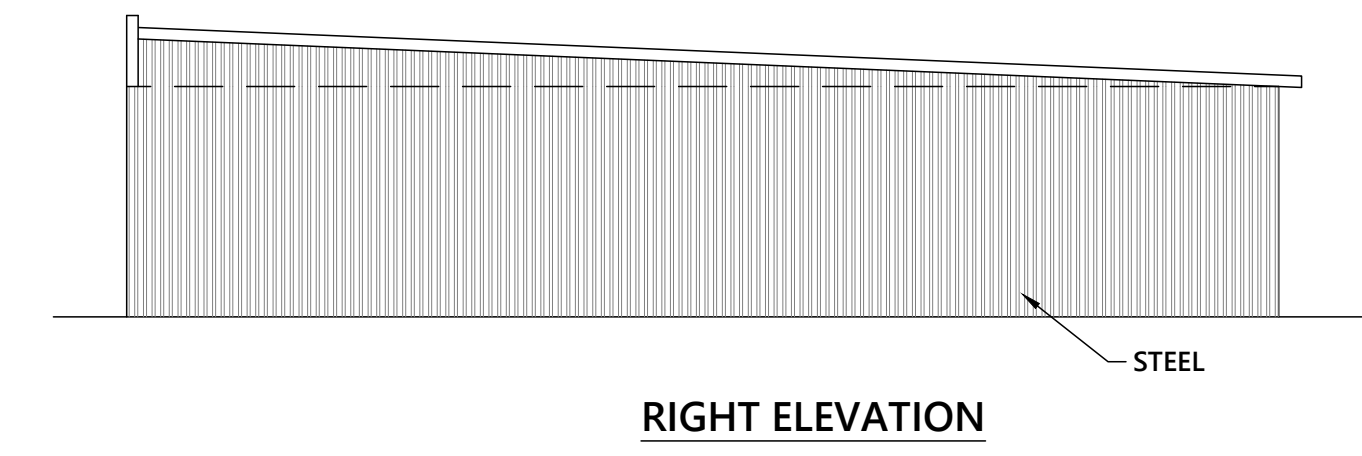
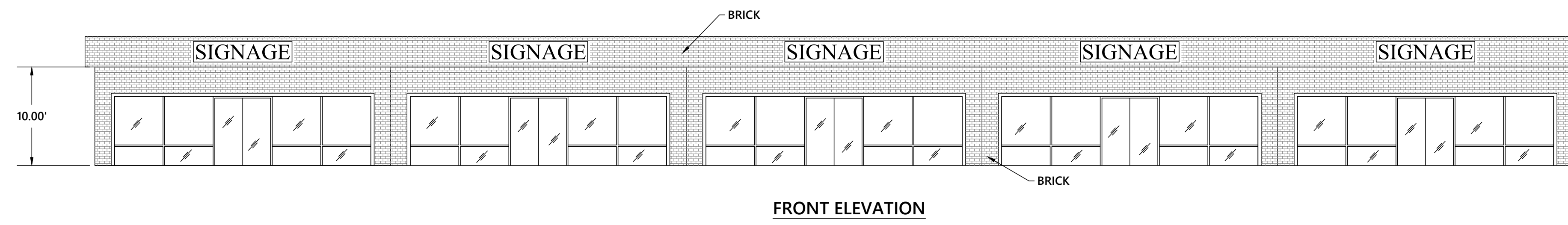
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**SITE PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

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DATE	04/01/2026
SCALE	1" = 100'
REVISION	

C-100

## ELEVATIONS



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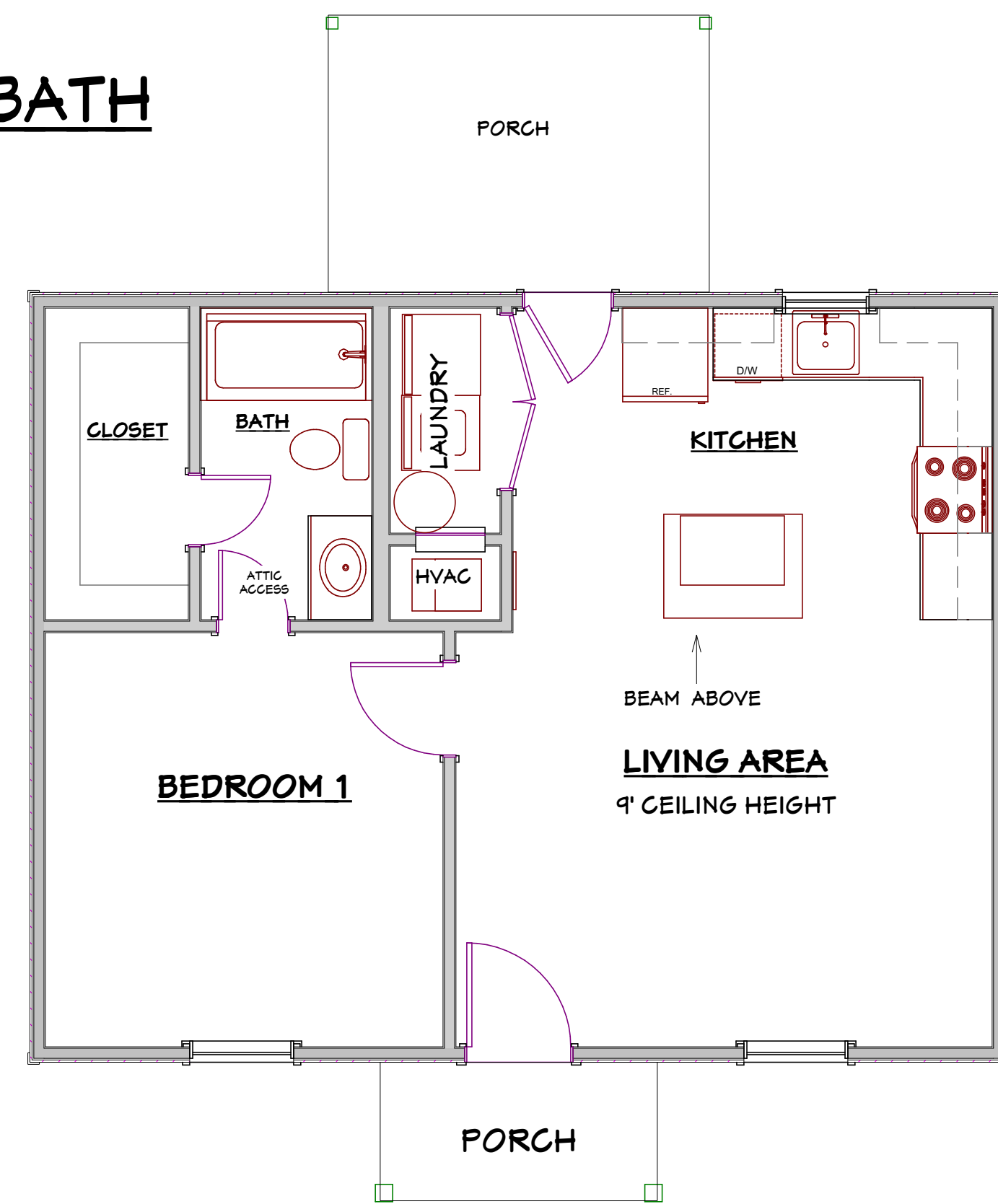
PINE CREST COVE - PHASE 2  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

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THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE STRUCTURAL ELEMENTS MUST BE VERIFIED AND DETERMINED BY A QUALIFIED PARTY. THE BUILDER IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES & ORDINANCES.



ONE BEDROOM / ONE BATH



22' x 28'  
616 square feet HEATED  
120 square feet PORCHES

FLOOR PLAN SCALE: 1/4" = 1'



TWO BEDROOM / TWO BATH



30' x 32'  
960 square feet heated  
120 square feet of porch

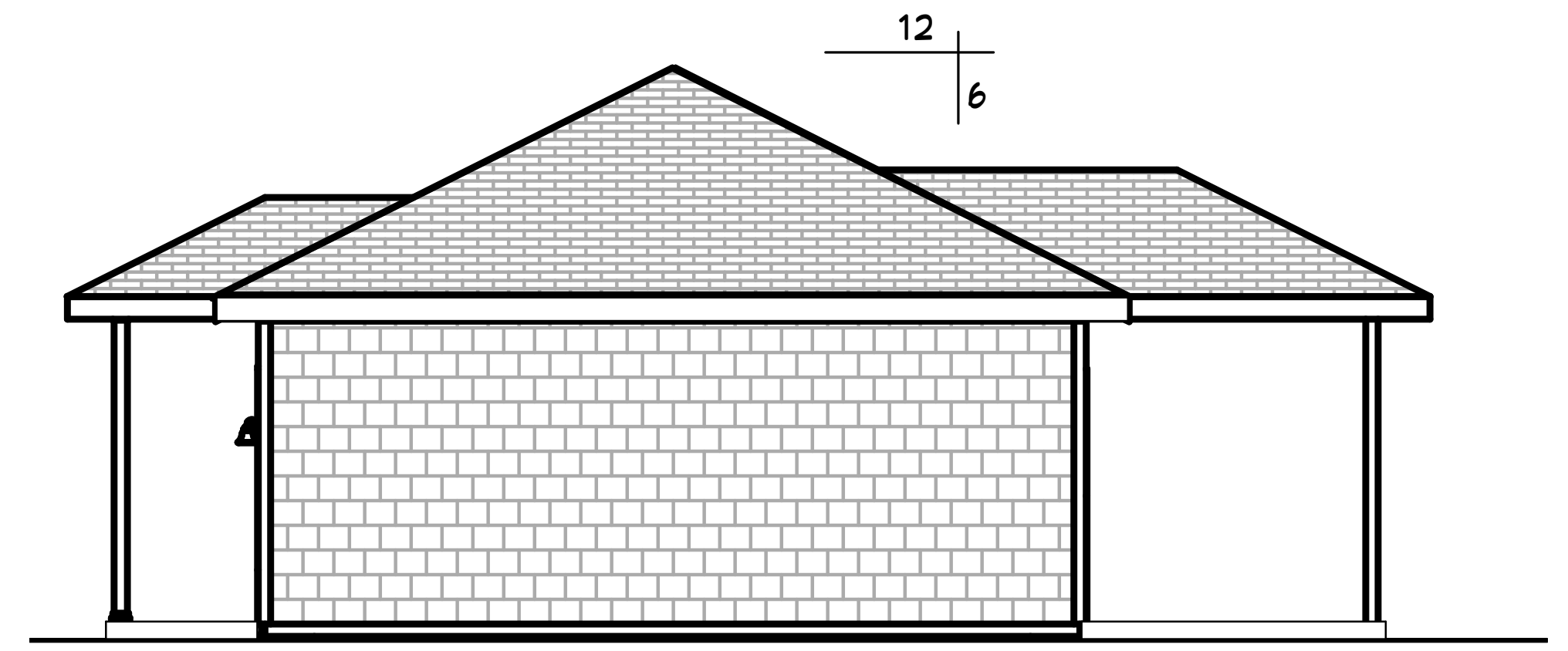
FLOOR PLAN SCALE: 1/4" = 1'



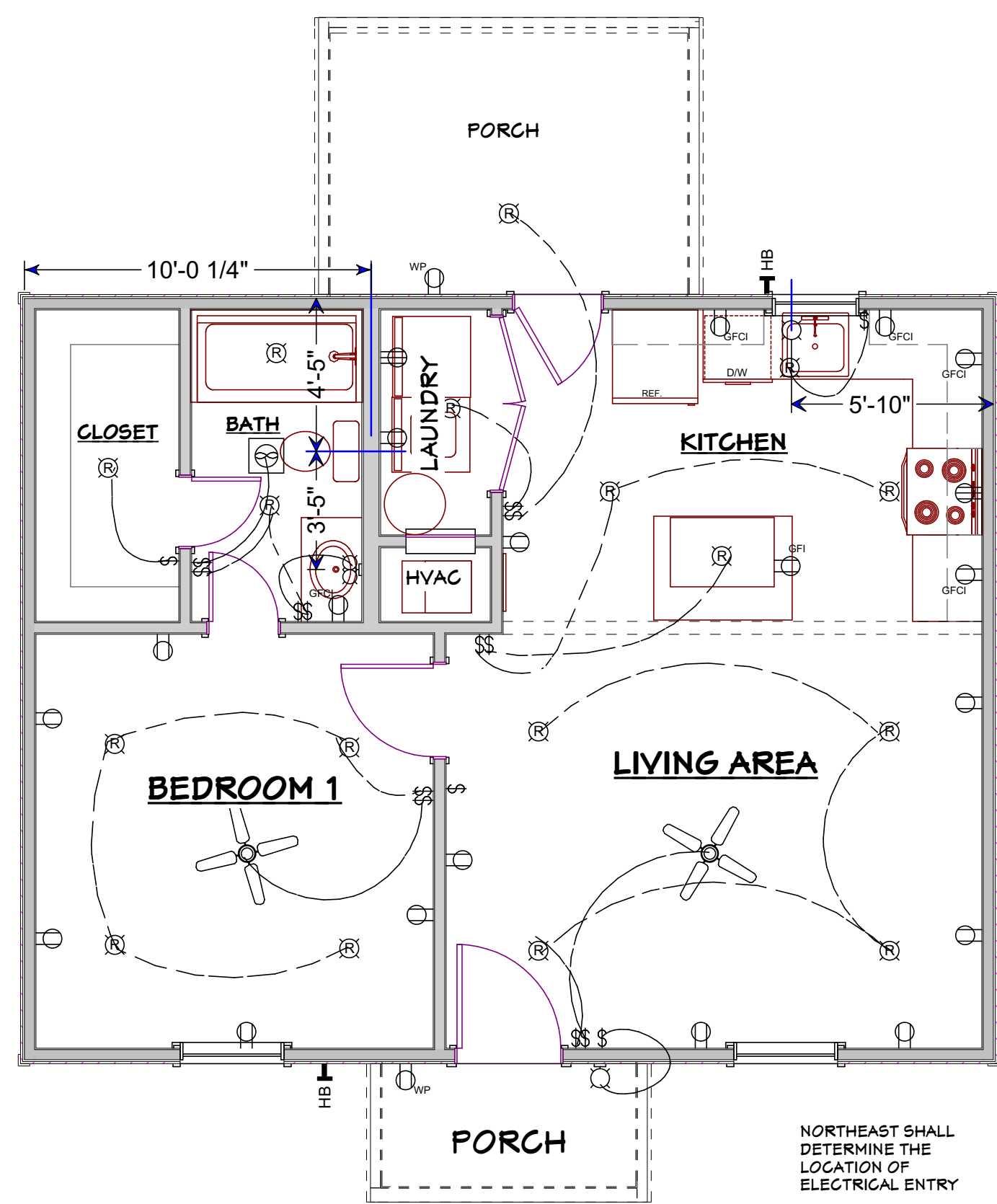
**REAR EXTERIOR ELEVATION** SCALE: 1/4" = 1'



**FRONT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



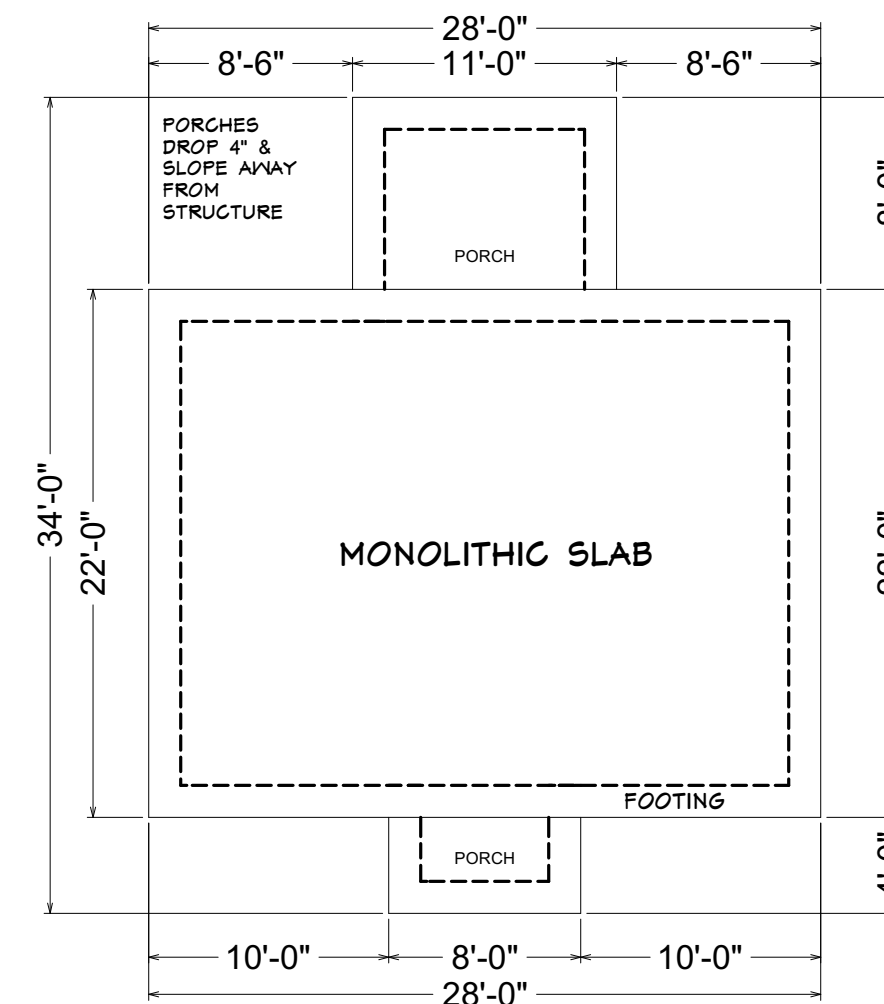
**RIGHT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



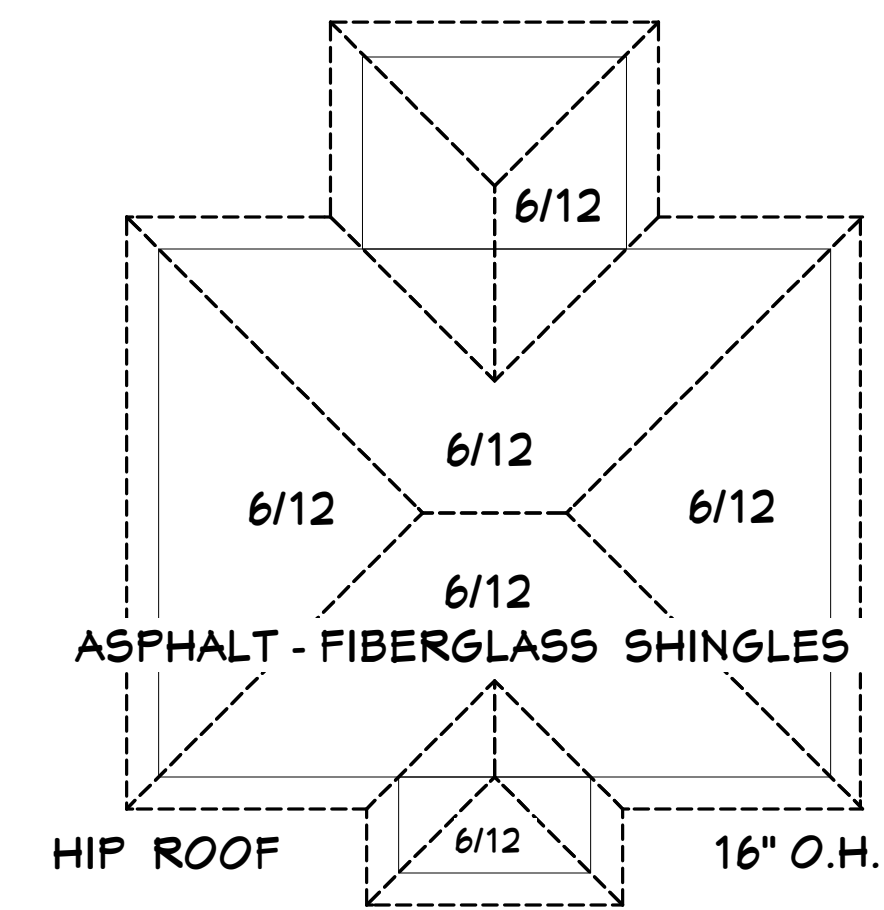
**ELECTRICAL LAYOUT**

ELECTRICAL - LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Telephone Jack
	Electrical Breaker Panel
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted

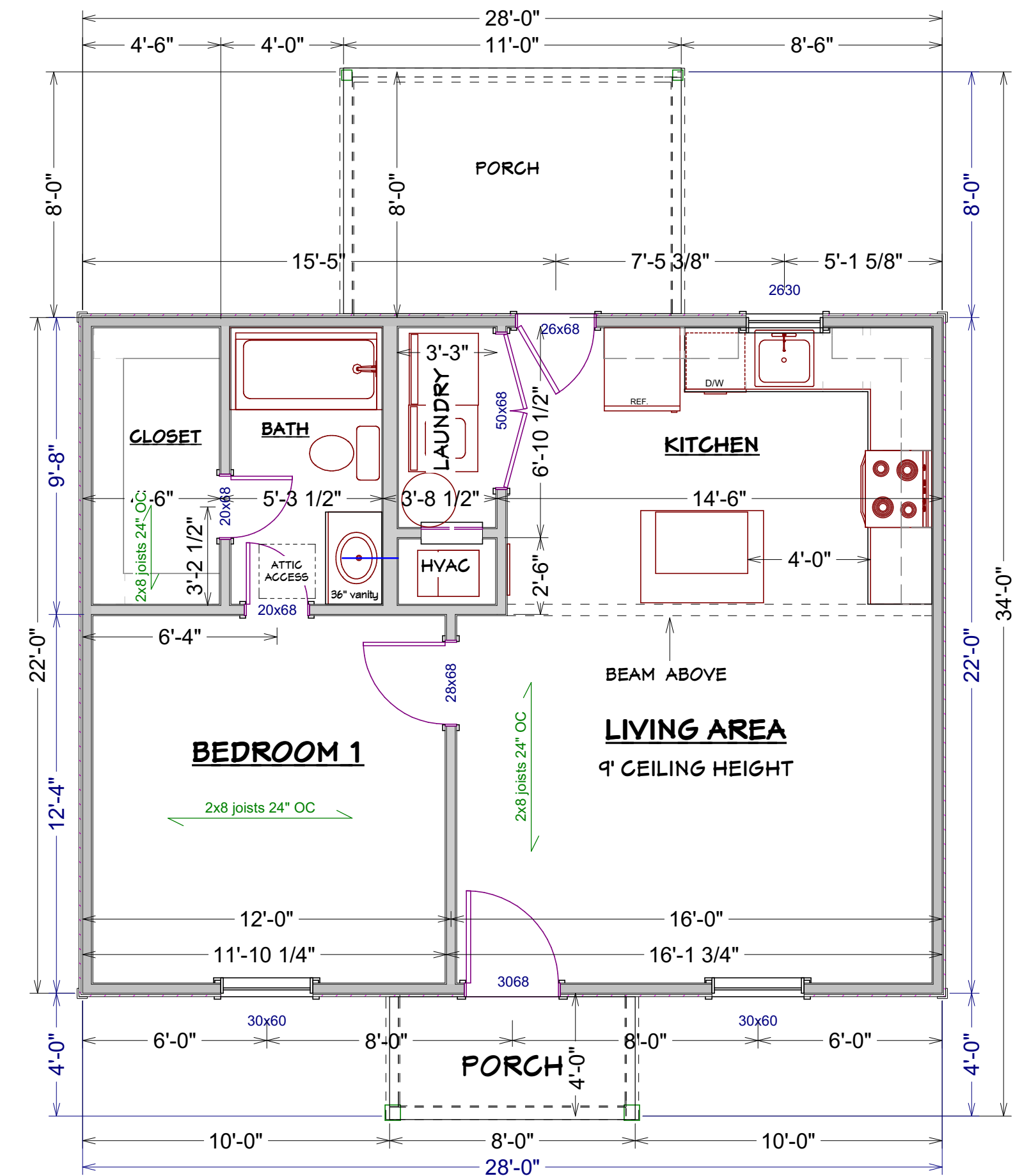
A 110 V HARD WIRED, INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP SHALL BE INSTALLED IN LOCATIONS PRESCRIBED BY 2006 INTERNATIONAL RESIDENTIAL CODE.



**FOUNDATION PLAN** SCALE: 1/8" = 1'

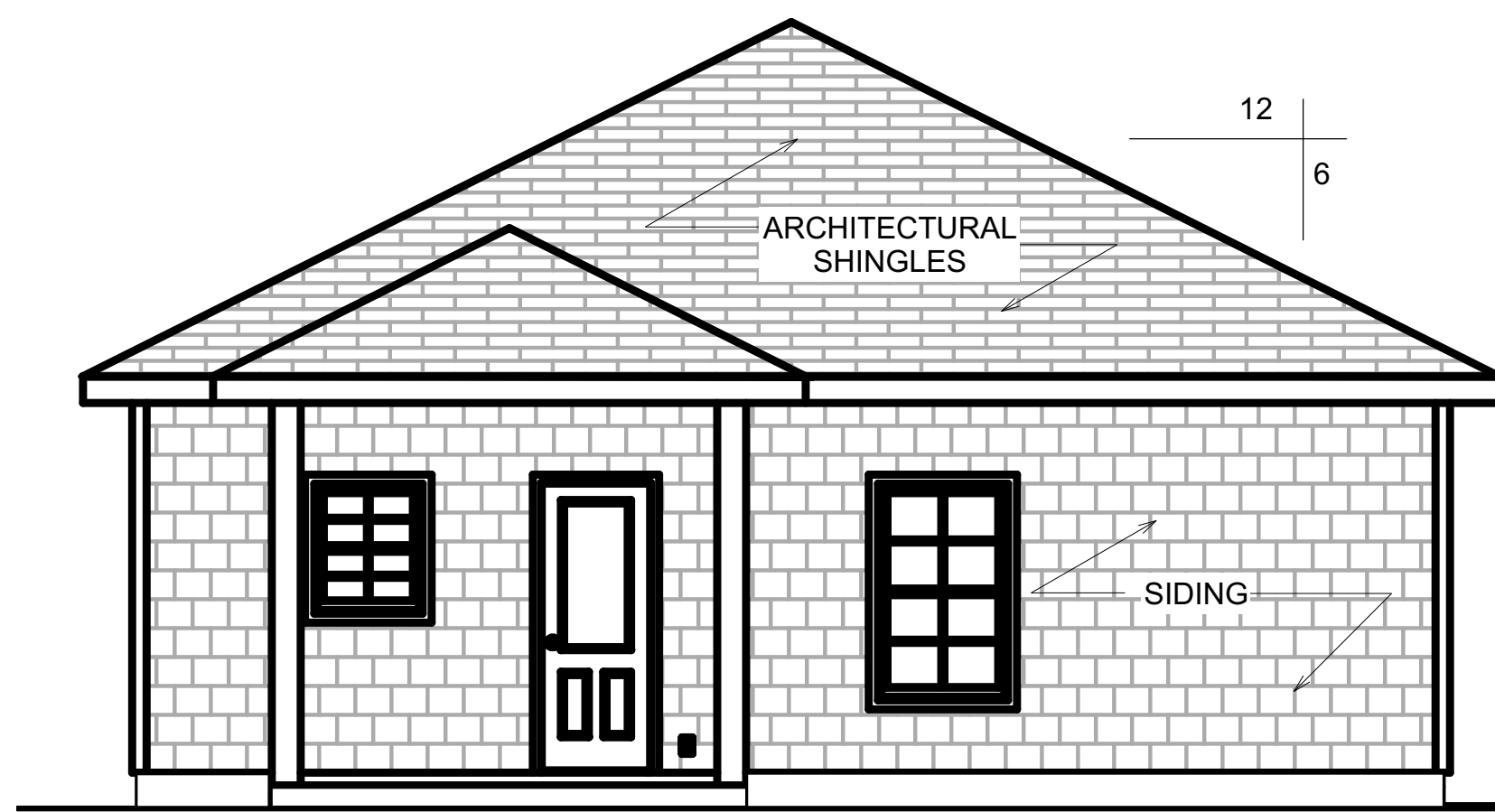


**ROOF PLAN** SCALE 1/8" = 1'

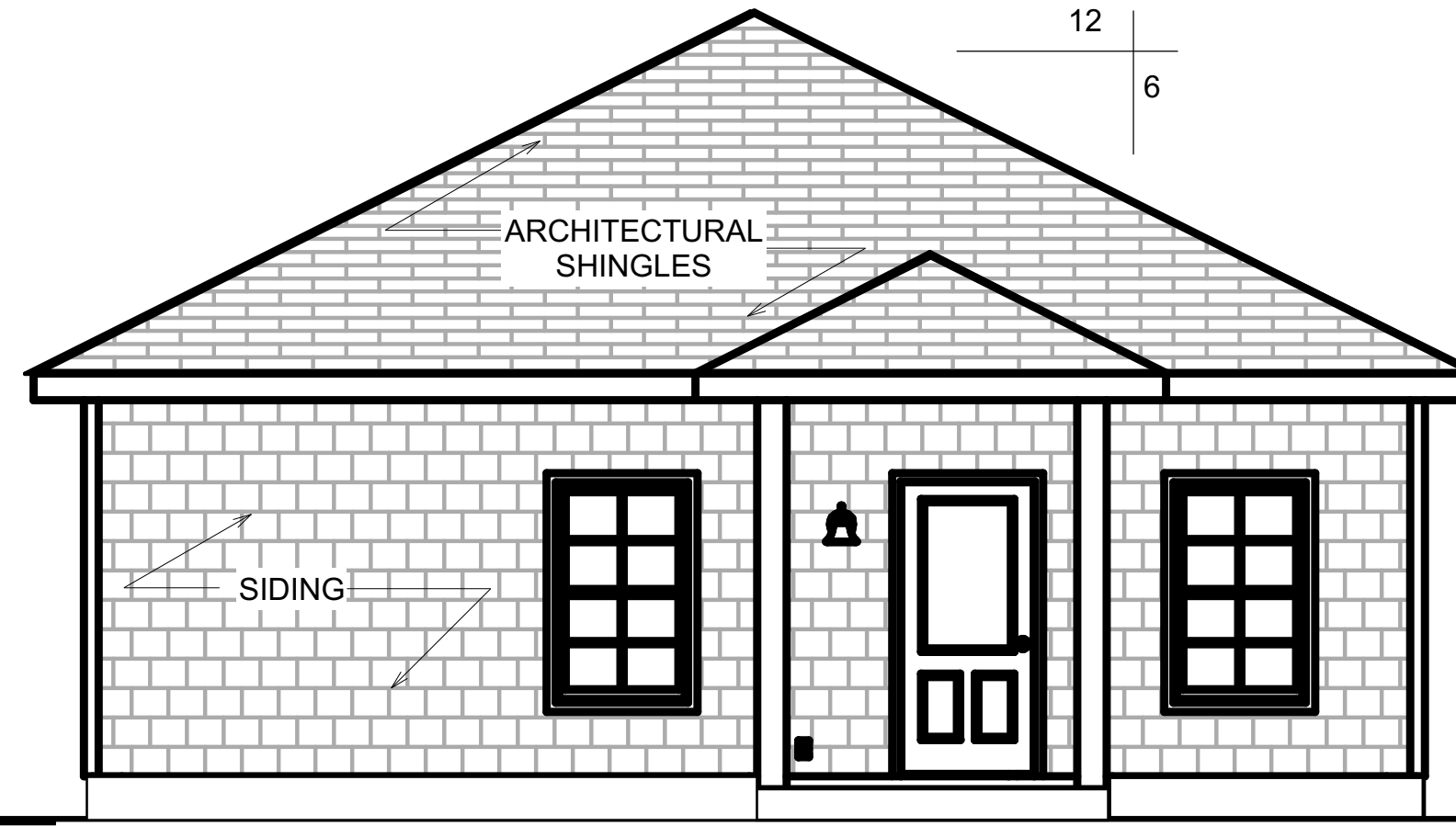


22' x 28'  
616 square feet HEATED  
120 square feet PORCHES

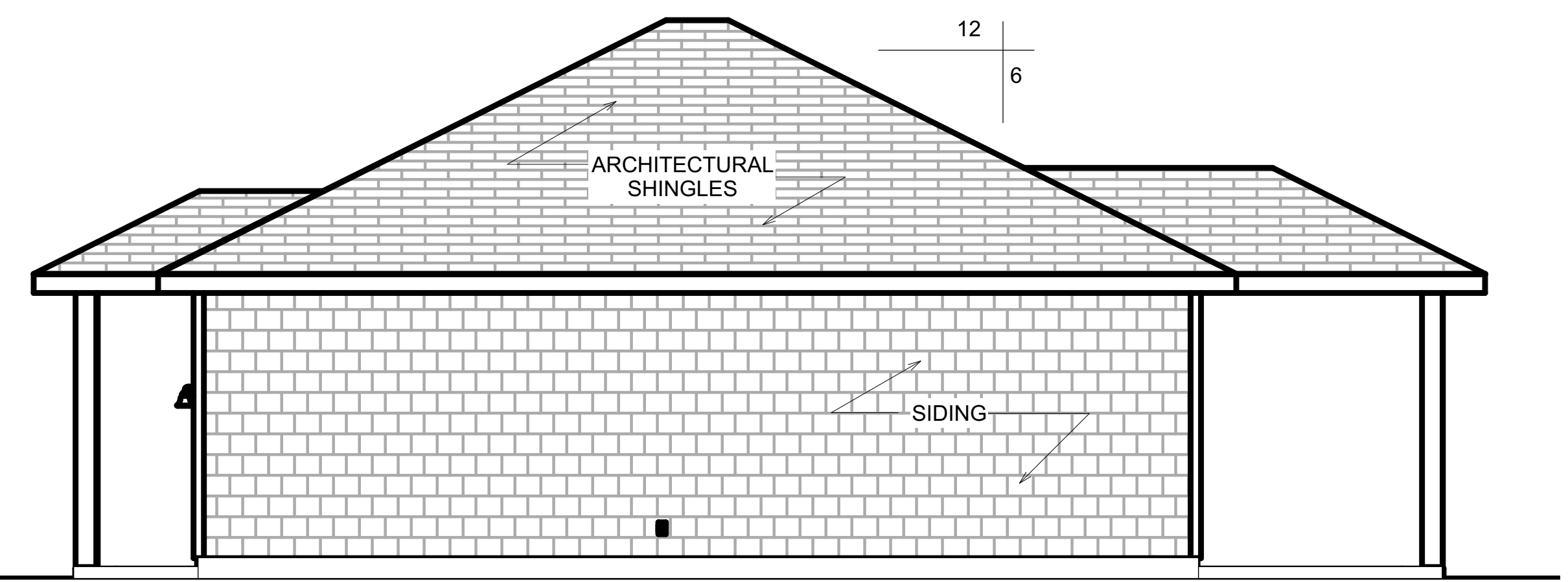
**FLOOR PLAN** SCALE: 1/4" = 1'



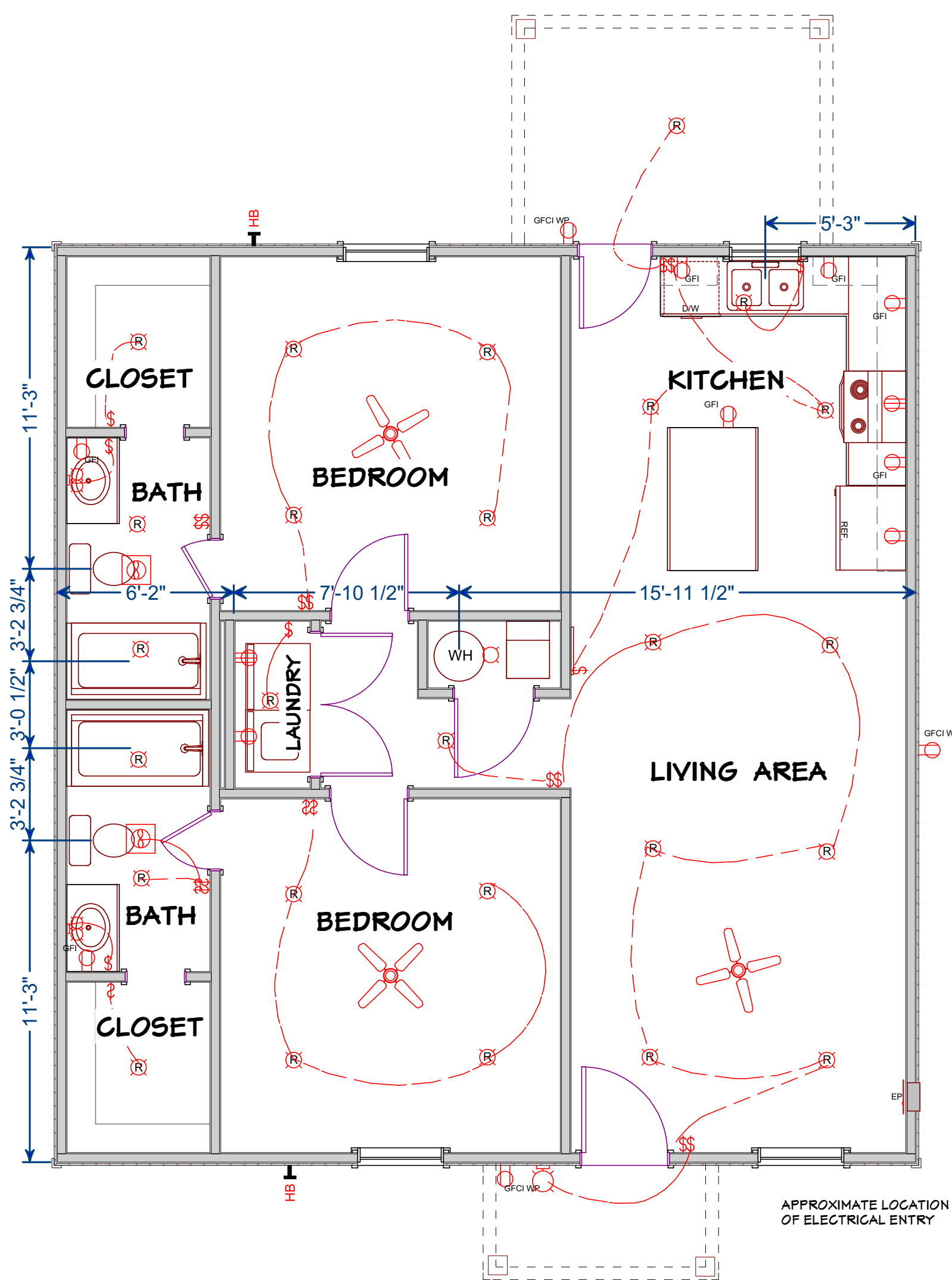
**REAR EXTERIOR ELEVATION** SCALE: 1/4" = 1'



**FRONT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



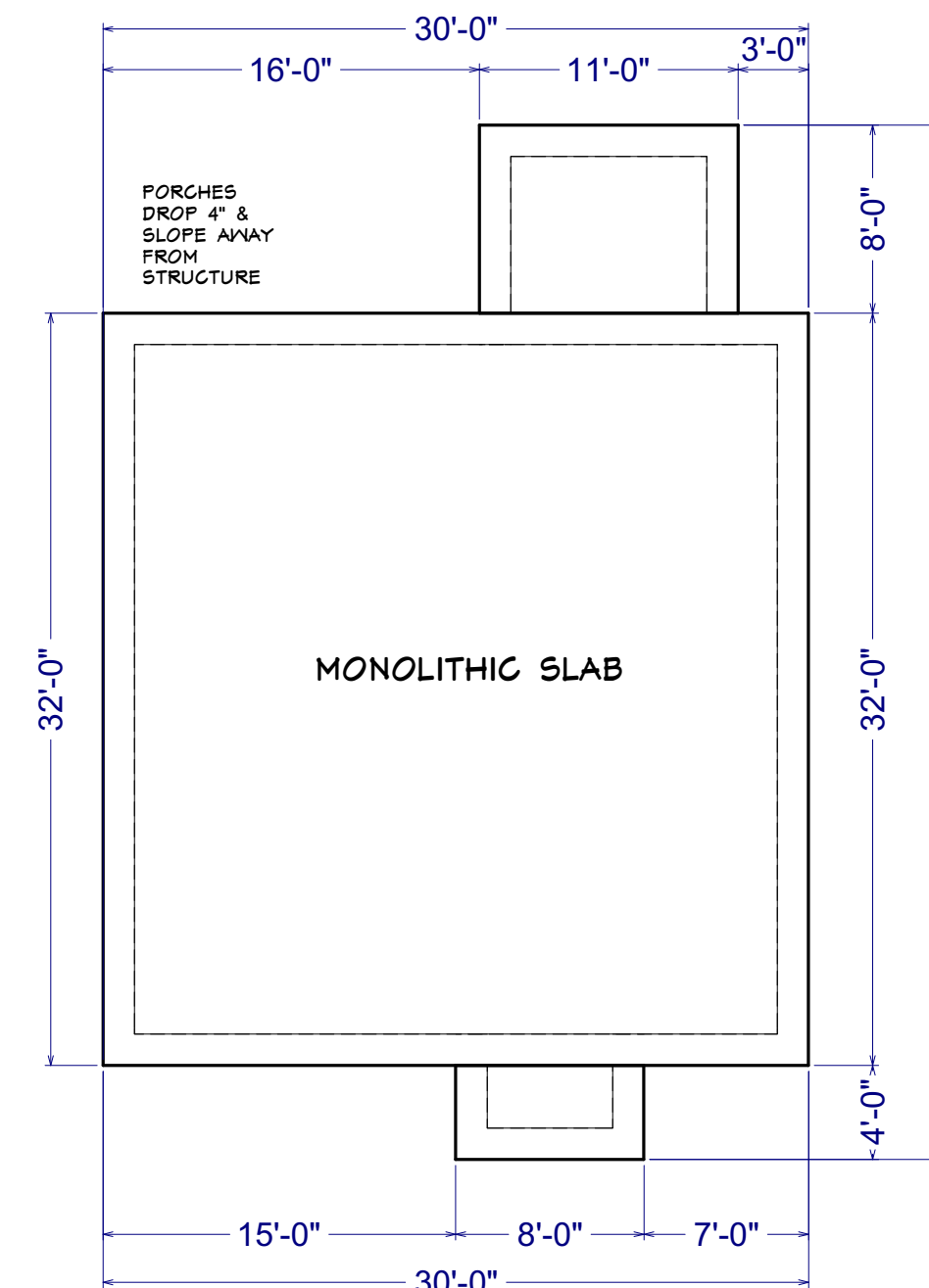
**RIGHT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



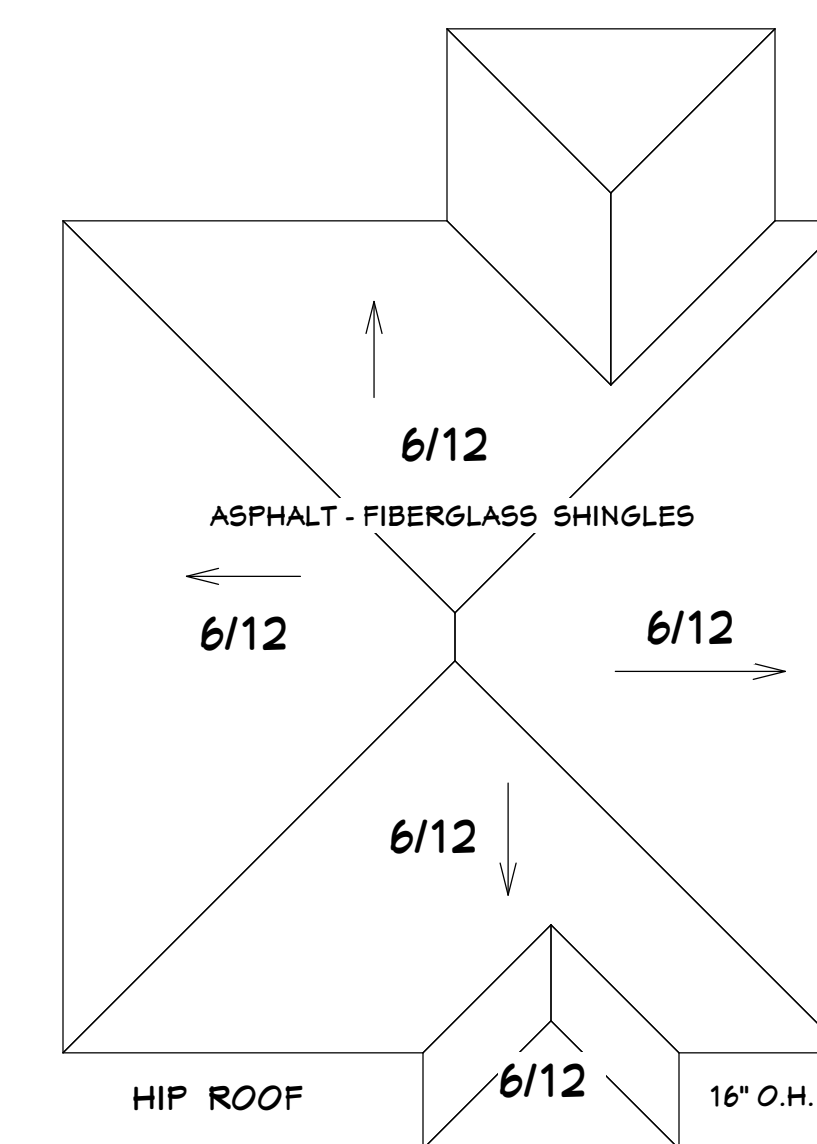
**ELECTRICAL LAYOUT**

ELECTRICAL - LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
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	Chandelier Light Fixture
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	Switches: Dimmer, Timer
	Telephone Jack
	Electrical Breaker Panel
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted

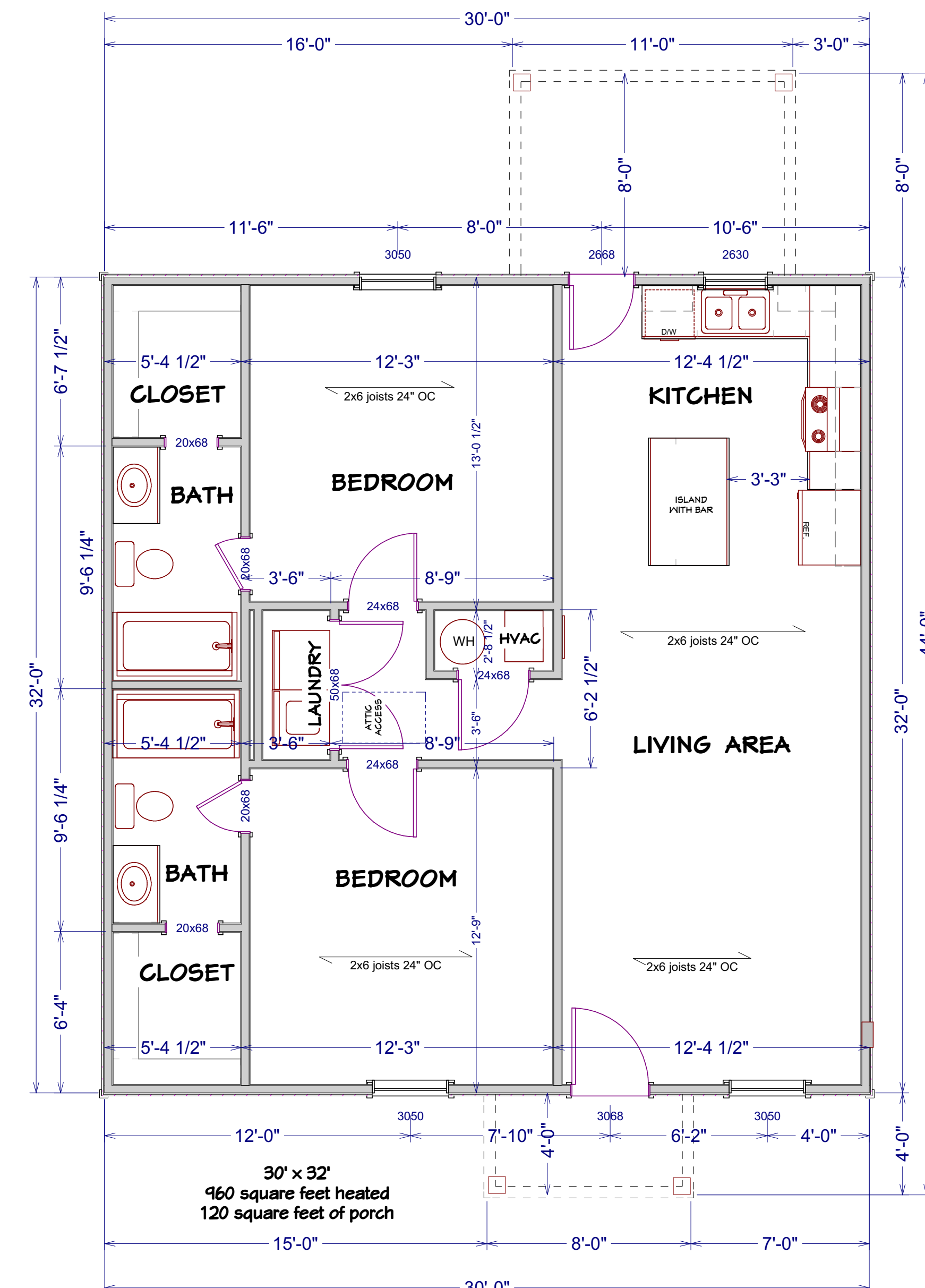
A 110 V HARD WIRED, INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP SHALL BE INSTALLED IN LOCATIONS PRESCRIBED BY 2006 INTERNATIONAL RESIDENTIAL CODE.



**FOUNDATION PLAN** SCALE: 1/8" = 1'



**ROOF PLAN** SCALE: 1/8" = 1'

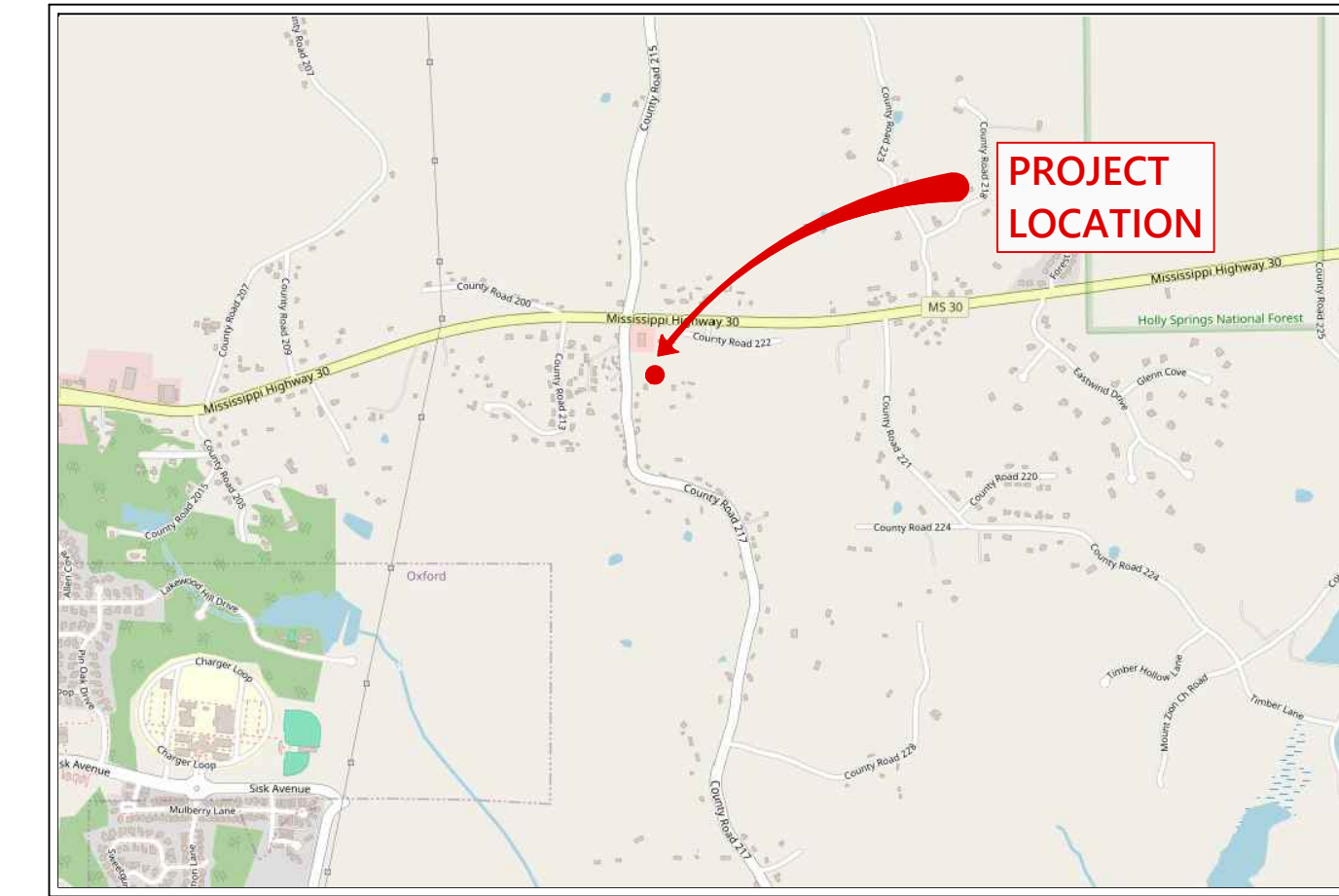


**FLOOR PLAN** SCALE: 1/4" = 1'

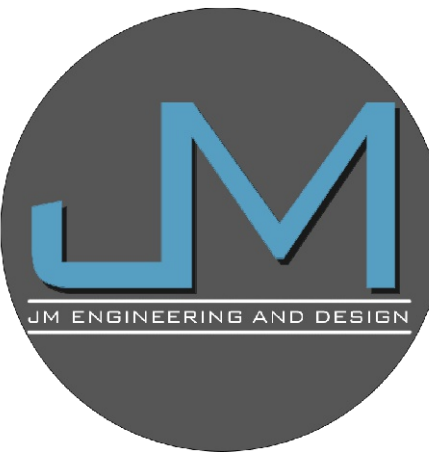
# PINE CREST COVE DEVELOPMENT - PHASE 2

## CAMP GROUND ROAD

### LAFAYETTE COUNTY, MISSISSIPPI



VICINITY MAP



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AND DESIGN, LLC  
OXFORD, MS  
(662) 801-8803

PINE CREST COVE - PHASE 2  
CAMP GROUND ROAD  
LAFAYETTE COUNTY, MISSISSIPPI

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SANITARY SEWER DETAILS	C-802
STORM DRAINAGE DETAILS	C-803
OUTLET CONTROL STRUCTURE DETAILS	C803-1
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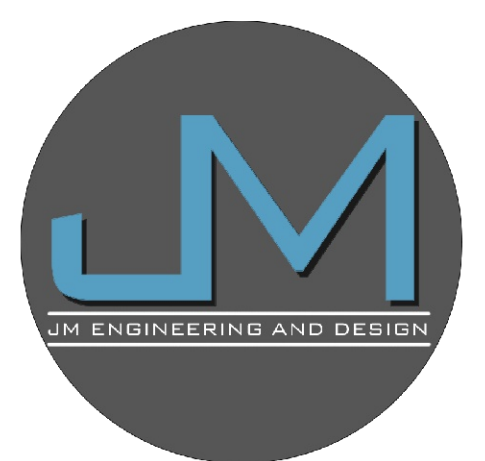
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PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	
REVISION	06/15/2026

C-000



SITE DATA TABLE	
PROPERTY AREA:	8.14 AC
ZONING:	PUD
	3.34 AC - COMMERCIAL
	9.41 AC - RESIDENTIAL
SETBACKS:	
	FRONT: 30'
	SIDE: 10'
	REAR: 10'
BUILDING INFORMATION:	
	23,400 SF ~ COMMERCIAL BUILDINGS (91 PARKING SPACES)
	15 - 1 BEDROOM UNITS
	15 - 2 BEDROOM UNITS

The developer, JJM Holdings, LLC, hereby grant a non-exclusive easement for ingress/egress to Lafayette County, Mississippi across the private roads owned by the Home Owners Association for the use of its employees in the normal scope of business activities related to typical services provided by the county, including, fire, school busses, garbage collection, emergency services, policing and other similar activities so long as the development is under the jurisdiction of the county. The owner/s agrees to hold Lafayette County harmless for normal wear and tear and damage to the roads and common areas resulting from or caused by Lafayette County employees engaged in providing county services.



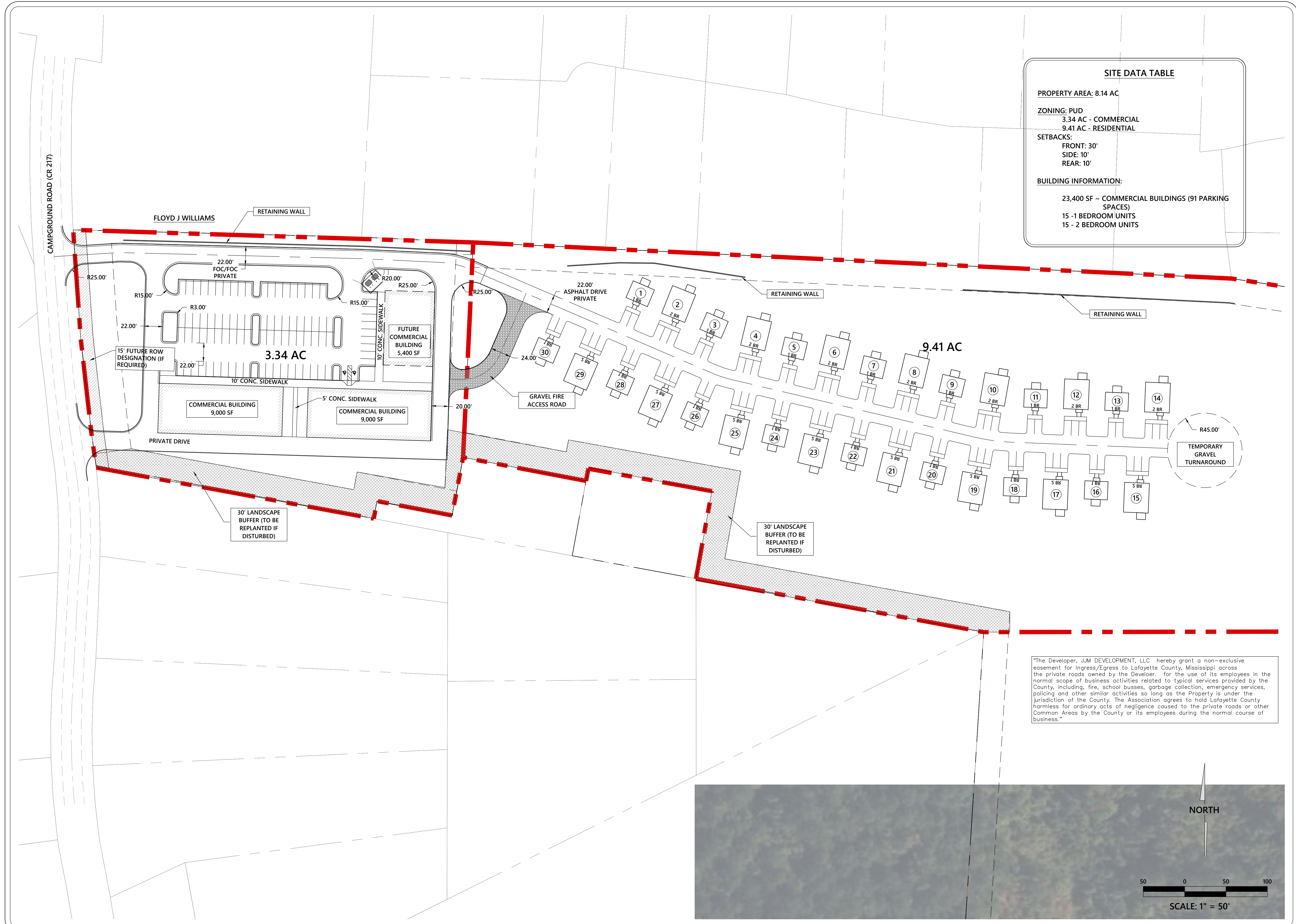
**JM ENGINEERING AND DESIGN, LLC**  
 OXFORD, MS  
 (662) 801-8803

**SITE PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

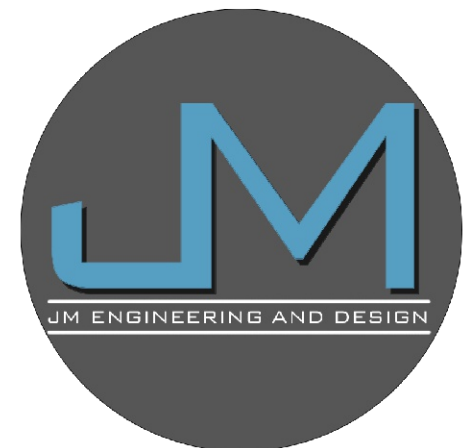
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CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 100'
REVISION	06/15/2026

**C-100**

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SITE DATA TABLE	
PROPERTY AREA:	8.14 AC
ZONING:	PUD
	3.34 AC - COMMERCIAL
	9.41 AC - RESIDENTIAL
SETBACKS:	
	FRONT: 30'
	SIDE: 10'
	REAR: 10'
BUILDING INFORMATION:	
	23,400 SF ~ COMMERCIAL BUILDINGS (91 PARKING SPACES)
	15 - 1 BEDROOM UNITS
	15 - 2 BEDROOM UNITS

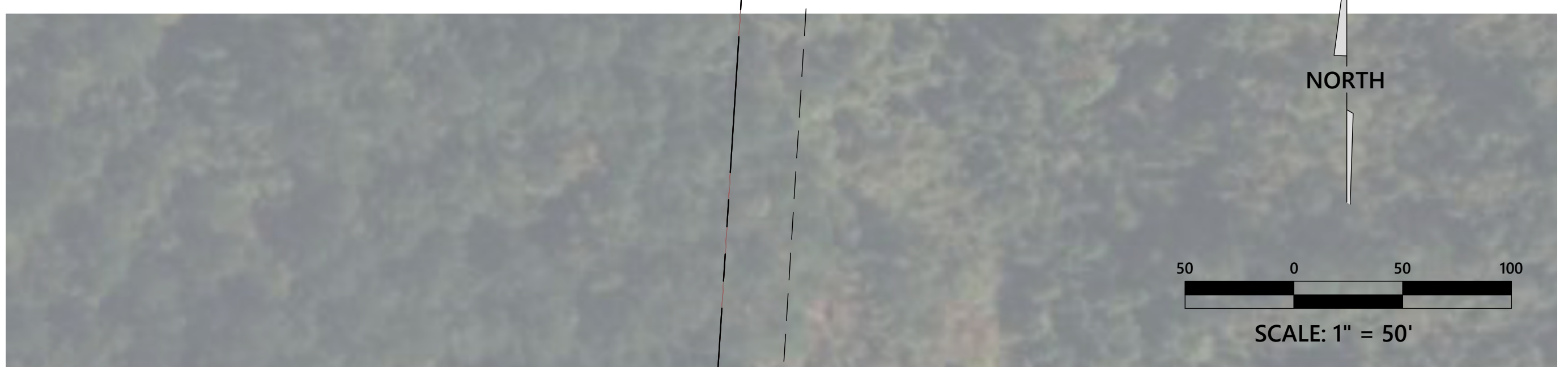


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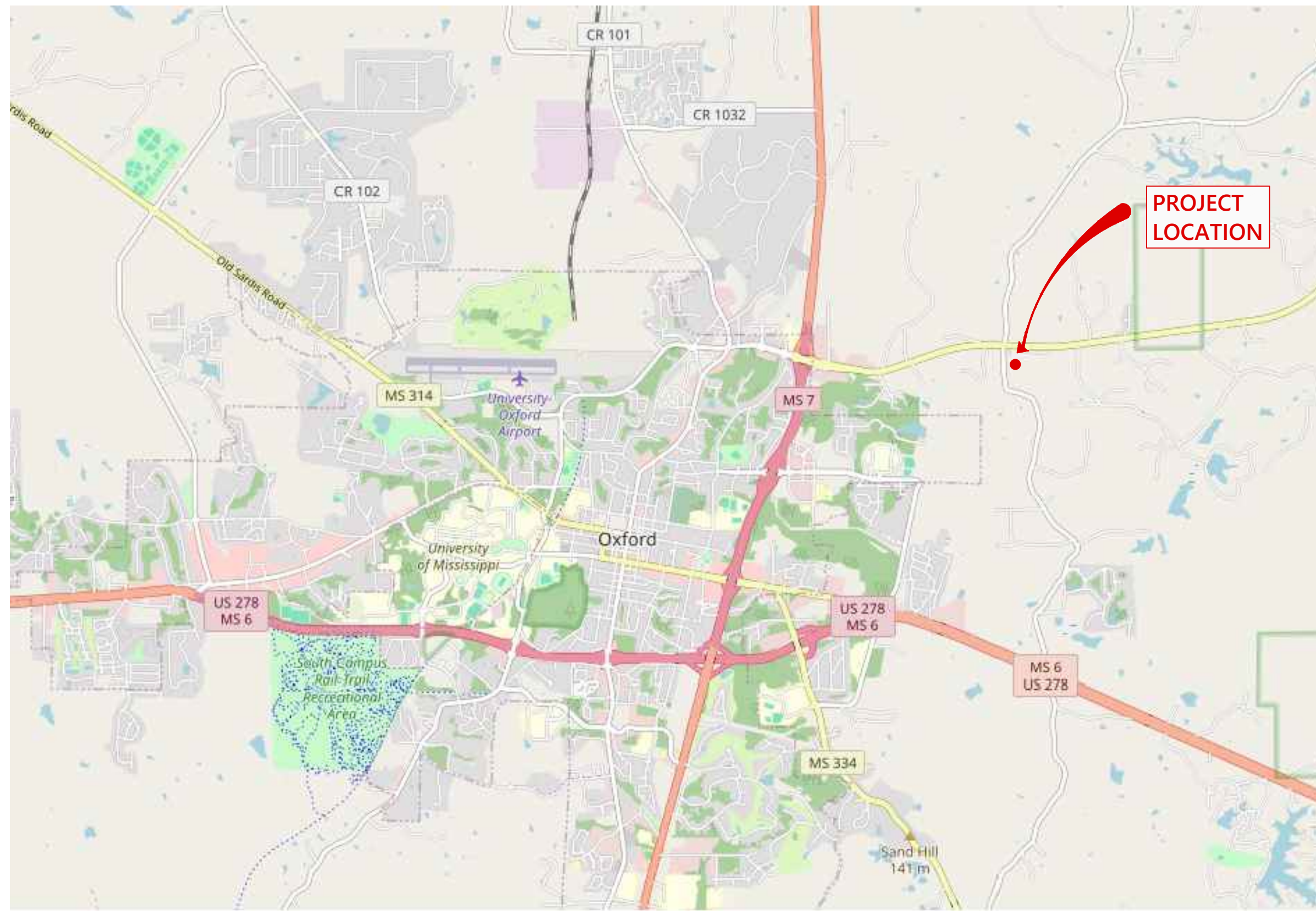
**SITE PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

"The Developer, JJM DEVELOPMENT, LLC hereby grant a non-exclusive easement for Ingress/Egress to Lafayette County, Mississippi across the private roads owned by the Developer, for the use of its employees in the normal scope of business activities related to typical services provided by the County, including, fire, school busses, garbage collection, emergency services, policing and other similar activities so long as the Property is under the jurisdiction of the County. The Association agrees to hold Lafayette County harmless for ordinary acts of negligence caused to the private roads or other Common Areas by the County or its employees during the normal course of business."

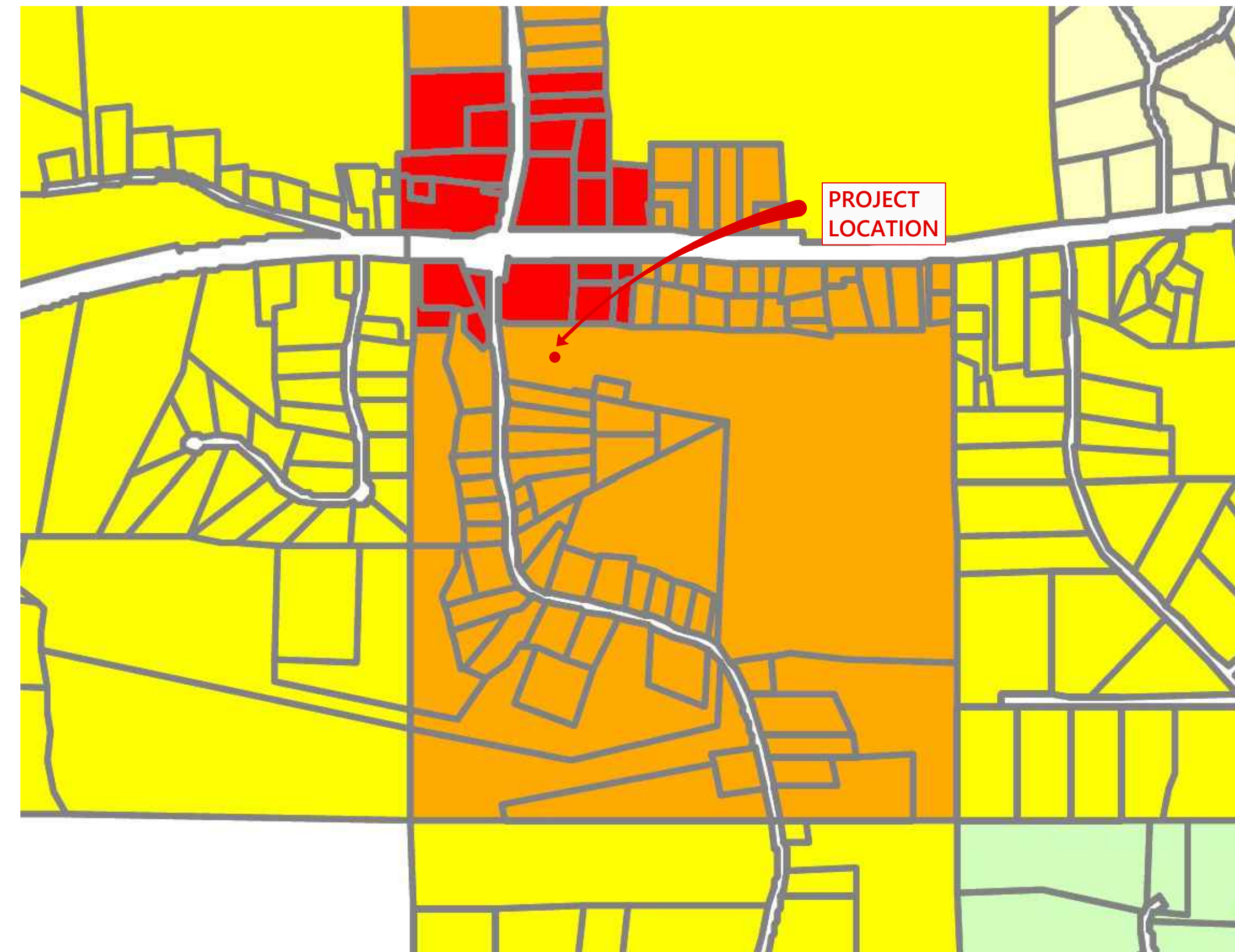
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PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026



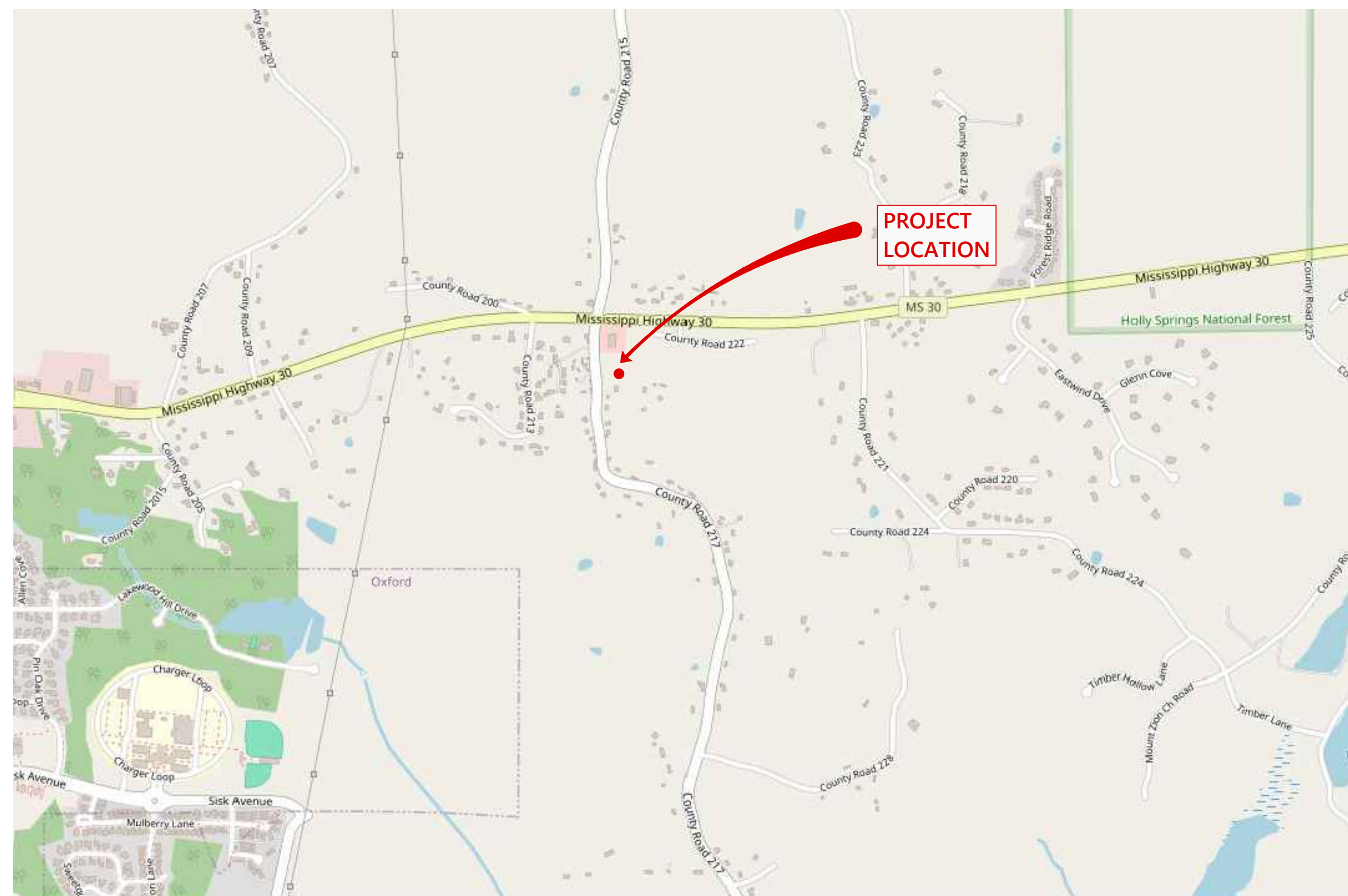
C-100



OVERALL LOCATION MAP



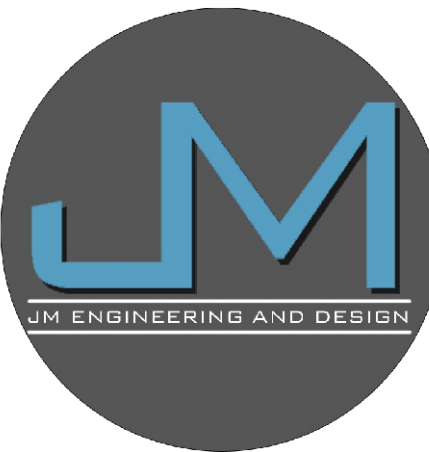
ZONING MAP (ZONING: R-2)



LOCATION MAP



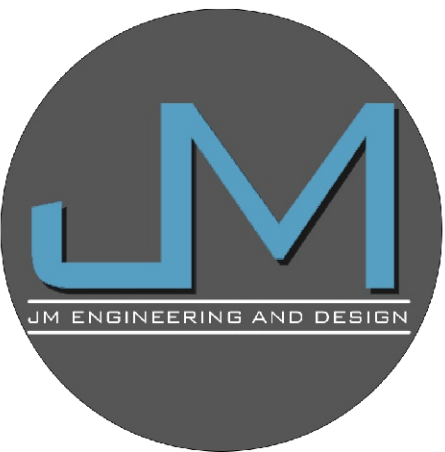
AERIAL MAP



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SITE MAPS  
 PINE CREST COVE - PHASE 2  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

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PROJECT NO.	XXXX
DATE	04/01/2026
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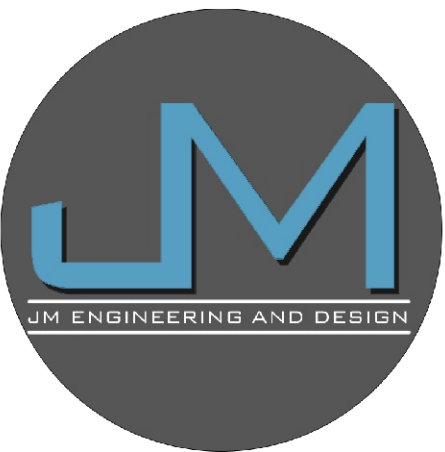
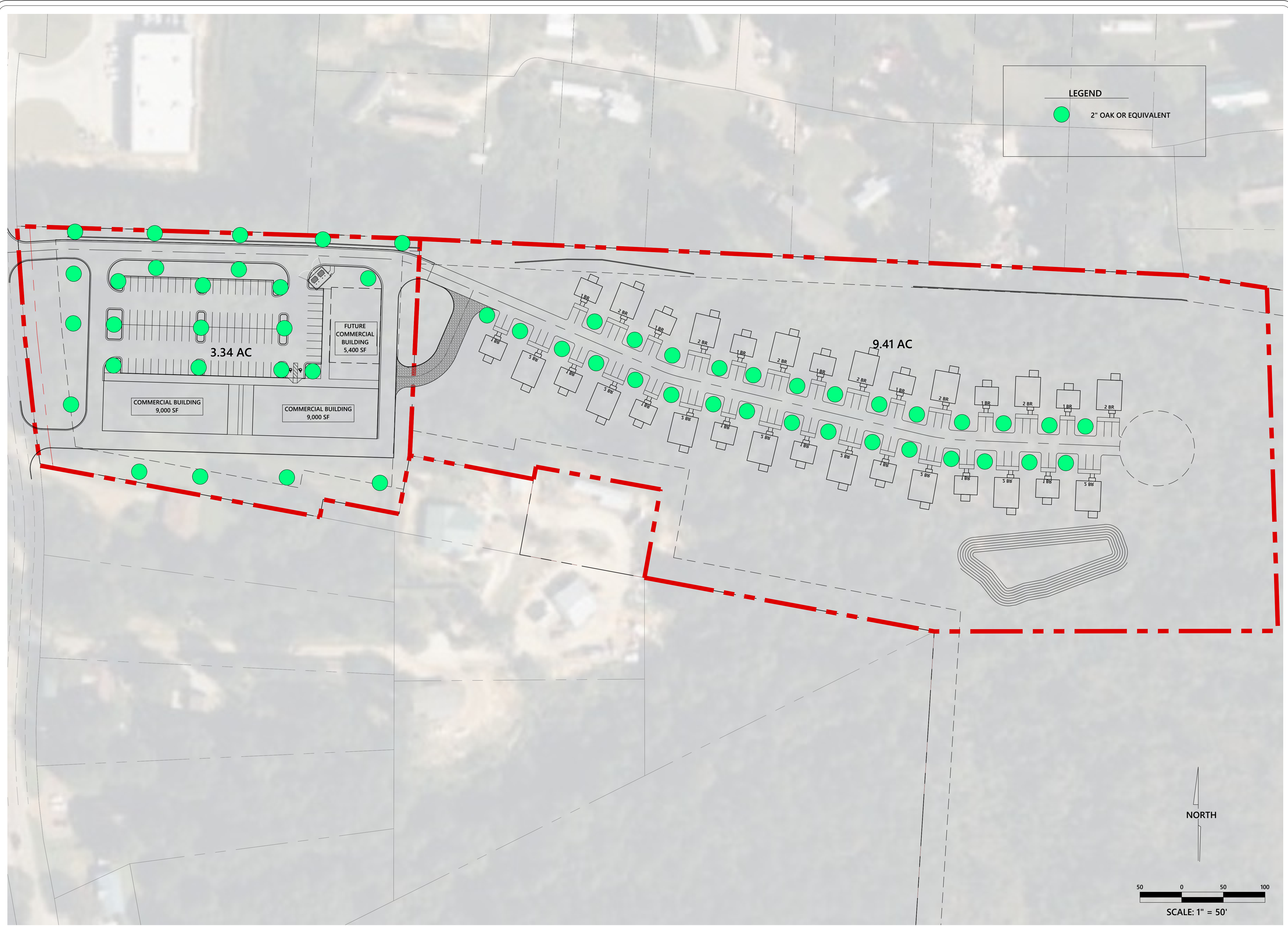


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EXISTING CONDITIONS  
PINE CREST COVE - PHASE 2  
CAMP GROUND ROAD  
LAFAYETTE COUNTY, MISSISSIPPI

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PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 100'
REVISION	06/15/2026

C-200

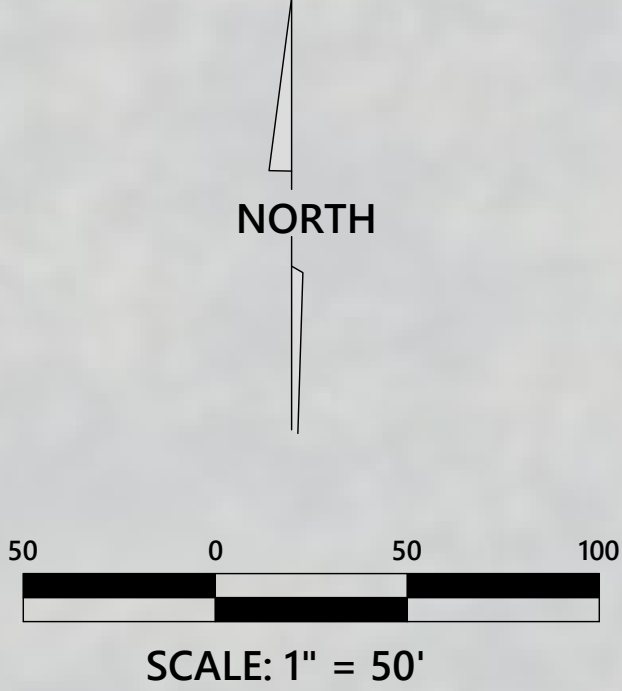


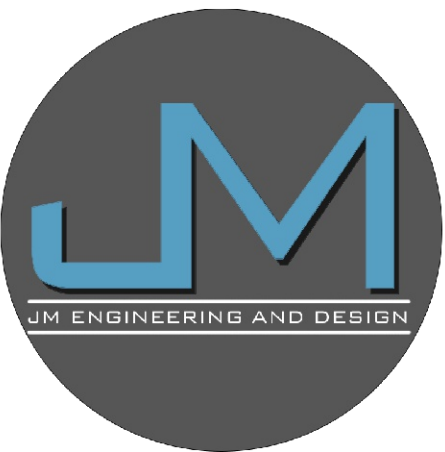
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LANDSCAPE PLAN  
**PINE CREST COVE - PHASE 2**  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

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**C-400**





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UTILITY PLAN  
PINE CREST COVE - PHASE 2  
CAMP GROUND ROAD  
LAFAYETTE COUNTY, MISSISSIPPI

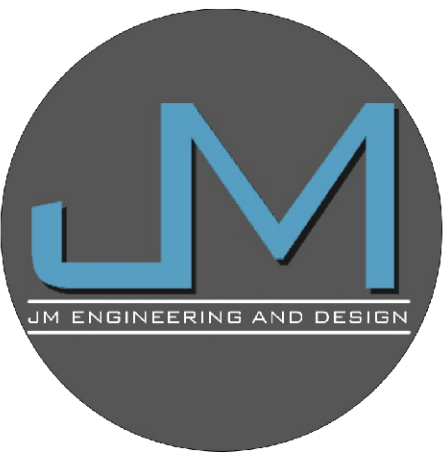
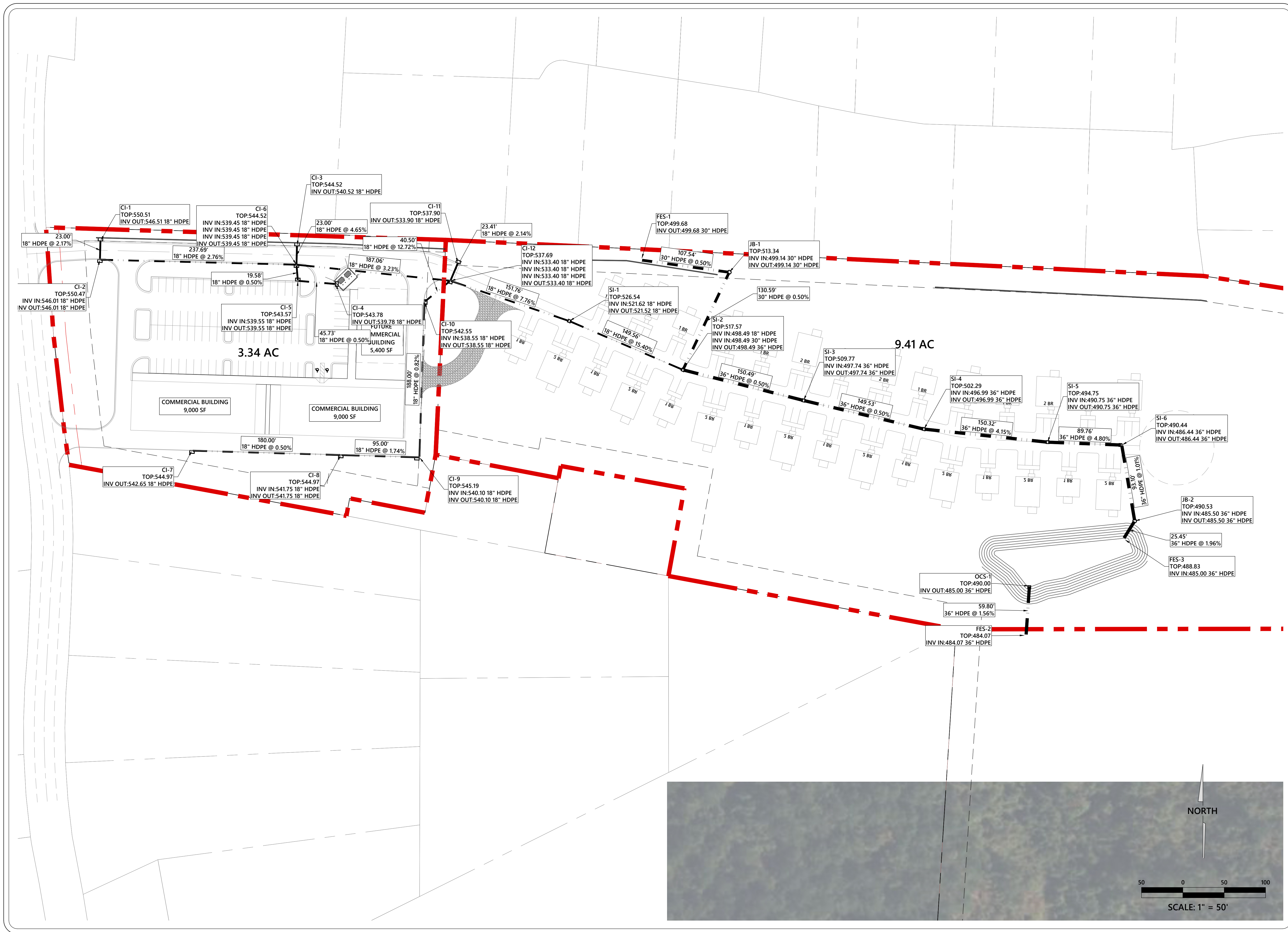
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CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026

NORTH



SCALE: 1" = 50'

C-500

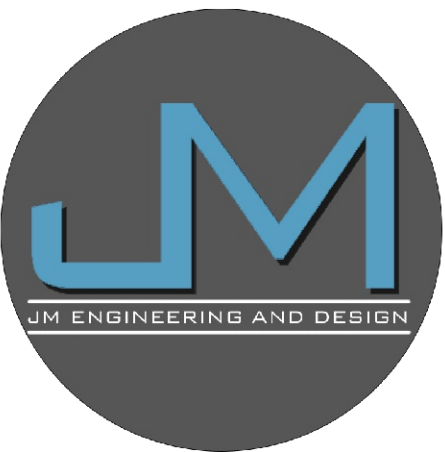
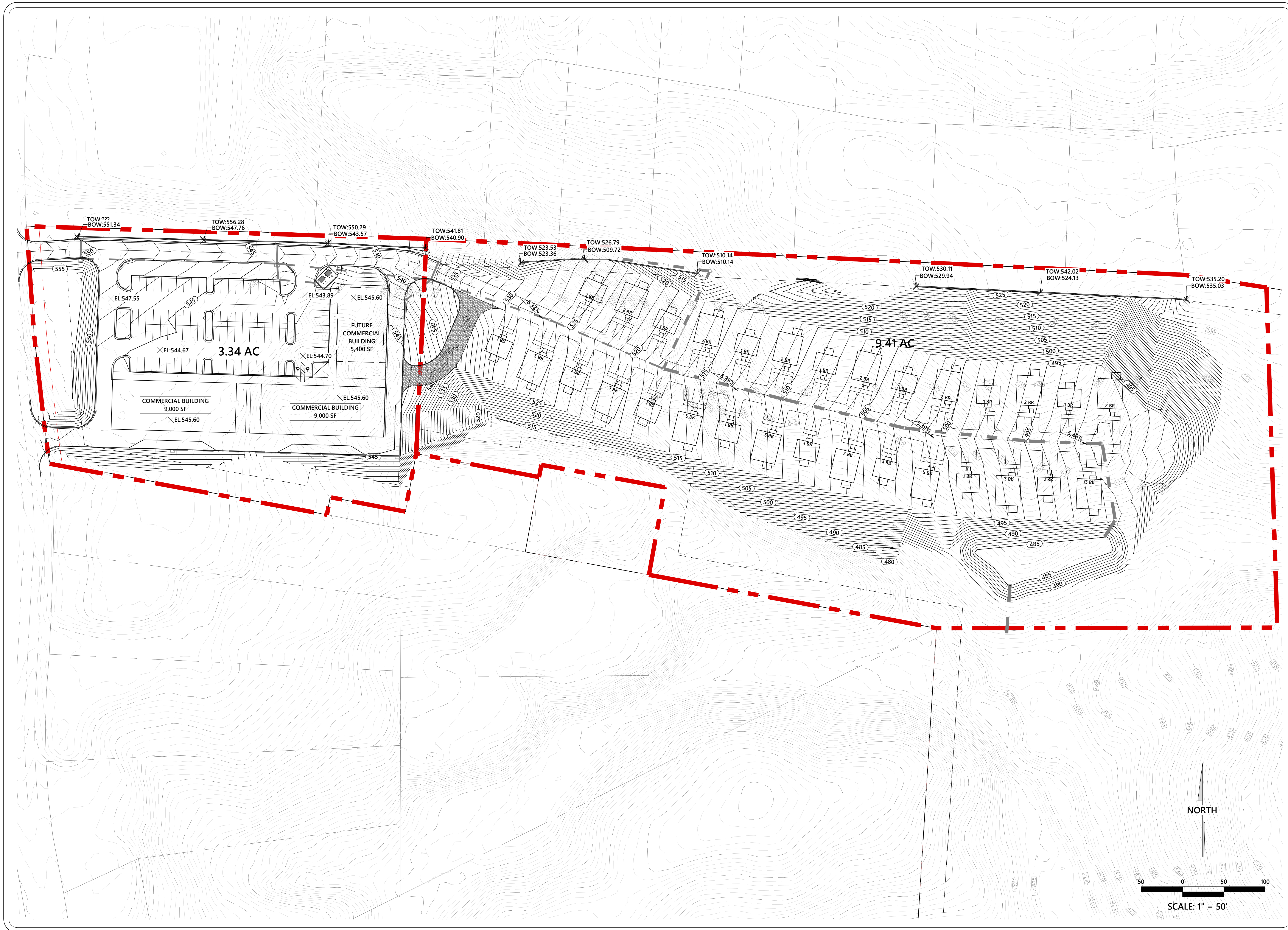


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STORM DRAINAGE PLAN  
 PINE CREST COVE - PHASE 2  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026

C-501

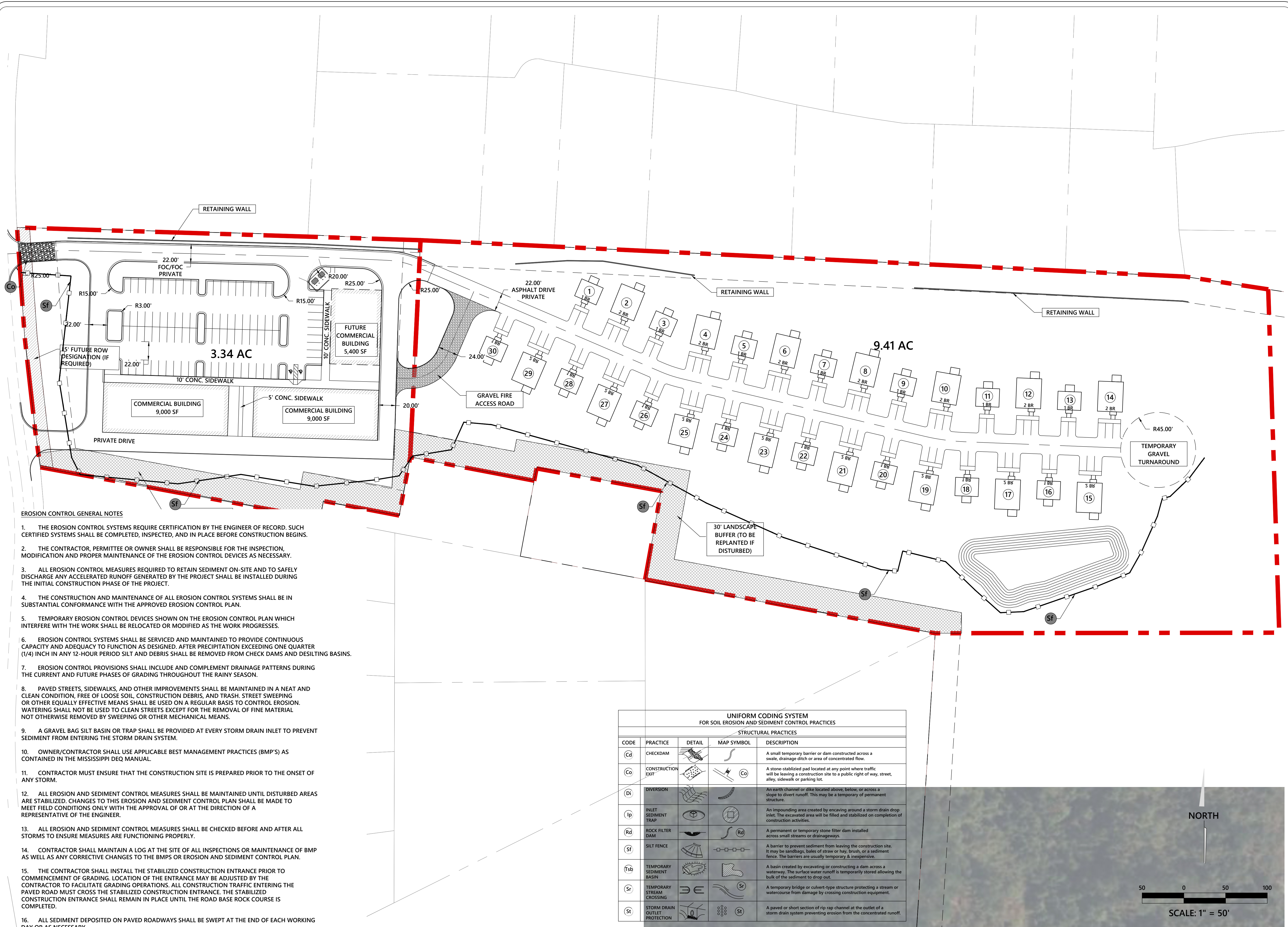


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**GRADING PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026

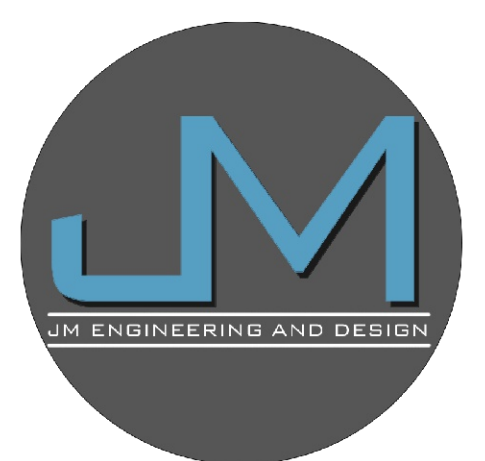
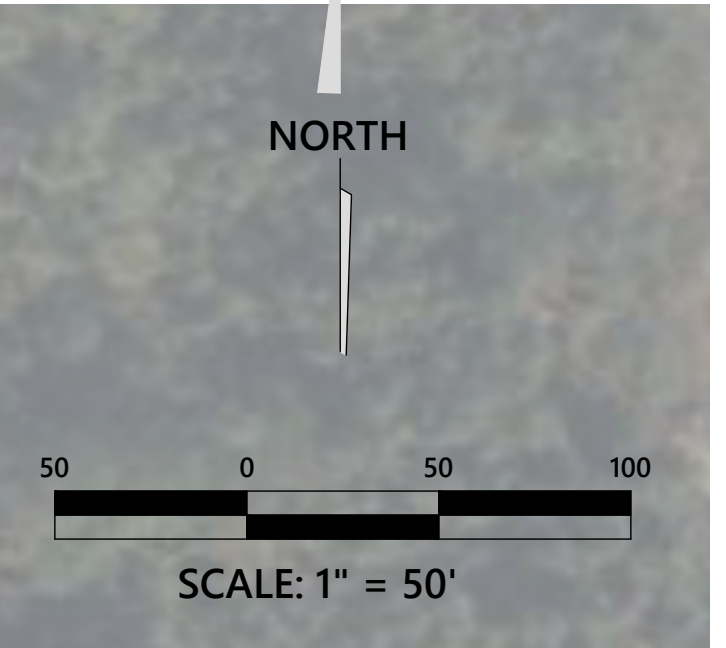
**C-600**



**EROSION CONTROL GENERAL NOTES**

1. THE EROSION CONTROL SYSTEMS REQUIRE CERTIFICATION BY THE ENGINEER OF RECORD. SUCH CERTIFIED SYSTEMS SHALL BE COMPLETED, INSPECTED, AND IN PLACE BEFORE CONSTRUCTION BEGINS.
2. THE CONTRACTOR, PERMITTEE OR OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION, MODIFICATION AND PROPER MAINTENANCE OF THE EROSION CONTROL DEVICES AS NECESSARY.
3. ALL EROSION CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE AND TO SAFELY DISCHARGE ANY ACCELERATED RUNOFF GENERATED BY THE PROJECT SHALL BE INSTALLED DURING THE INITIAL CONSTRUCTION PHASE OF THE PROJECT.
4. THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL SYSTEMS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED EROSION CONTROL PLAN.
5. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS THE WORK PROGRESSES.
6. EROSION CONTROL SYSTEMS SHALL BE SERVICED AND MAINTAINED TO PROVIDE CONTINUOUS CAPACITY AND ADEQUACY TO FUNCTION AS DESIGNED. AFTER PRECIPITATION EXCEEDING ONE QUARTER (1/4) INCH IN ANY 12-HOUR PERIOD SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS AND DESILTING BASINS.
7. EROSION CONTROL PROVISIONS SHALL INCLUDE AND COMPLEMENT DRAINAGE PATTERNS DURING THE CURRENT AND FUTURE PHASES OF GRADING THROUGHOUT THE RAINY SEASON.
8. PAVED STREETS, SIDEWALKS, AND OTHER IMPROVEMENTS SHALL BE MAINTAINED IN A NEAT AND CLEAN CONDITION, FREE OF LOOSE SOIL, CONSTRUCTION DEBRIS, AND TRASH. STREET SWEEPING OR OTHER EQUALLY EFFECTIVE MEANS SHALL BE USED ON A REGULAR BASIS TO CONTROL EROSION. WATERING SHALL NOT BE USED TO CLEAN STREETS EXCEPT FOR THE REMOVAL OF FINE MATERIAL NOT OTHERWISE REMOVED BY SWEEPING OR OTHER MECHANICAL MEANS.
9. A GRAVEL BAG SILT BASIN OR TRAP SHALL BE PROVIDED AT EVERY STORM DRAIN INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
10. OWNER/CONTRACTOR SHALL USE APPLICABLE BEST MANAGEMENT PRACTICES (BMP'S) AS CONTAINED IN THE MISSISSIPPI DEQ MANUAL.
11. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM.
12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE ENGINEER.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
14. CONTRACTOR SHALL MAINTAIN A LOG AT THE SITE OF ALL INSPECTIONS OR MAINTENANCE OF BMP AS WELL AS ANY CORRECTIVE CHANGES TO THE BMP'S OR EROSION AND SEDIMENT CONTROL PLAN.
15. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETED.
16. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY OR AS NECESSARY.

UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES				
STRUCTURAL PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Co	CONSTRUCTION EXIT			A stone-stabilized pad located at any point where traffic will be leaving a construction site to a public right of way, street, alley, sidewalk or parking lot.
Di	DIVERSION			An earth channel or dike located above, below, or across a slope to divert runoff. This may be a temporary or permanent structure.
Ip	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainage ways.
Sf	SILT FENCE			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, or a sediment fence. The barriers are usually temporary & inexpensive.
Trsb	TEMPORARY SEDIMENT BASIN			A basin created by excavating or constructing a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORM DRAIN OUTLET PROTECTION			A paved or short section of rip rap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.



**JM ENGINEERING  
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OXFORD, MS  
(662) 801-8803

**EROSION CONTROL PLAN**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	1" = 50'
REVISION	06/15/2026

**C-700**

**GENERAL NOTES**

1) LIST OF PUBLIC UTILITIES:

- WATER - CAMPGROUND WATER ASSOCIATION
- SEWER - MDOH
- ELECTRIC - NORTHEAST MS POWER
- GAS - CENTERPOINT ENERGY

2) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED IN UNDERCUT AREAS AND THE UNDERCUT DEPTH MAY BE ADJUSTED AT CROSS DRAINS, AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGES.

3) ALL EXISTING UTILITIES OR OTHER OBSTRUCTIONS, WHICH CONFLICT WITH REQUIRED CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE AS AN ABSORBED ITEM.

4) THE EROSION CONTROL DEVICES REFERENCED IN THESE PLANS ARE A MINIMUM REQUIREMENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SILT DOES NOT LEAVE THE CONSTRUCTION SITE OR CONTAMINATE WATERS OF THE U.S. DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A "SMALL CONSTRUCTION NOTICE OF INTENT" PERMIT AS REQUIRED BY THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY AND MAINTAIN THE PLAN DURING CONSTRUCTION.

5) EXISTING UTILITIES ON THE DRAWINGS ARE SHOWN IN THEIR ORIGINAL LOCATION BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CAN NOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR MUST COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS (INCLUDING MISSISSIPPI ONE CALL) TO HAVE UNDERGROUND UTILITY LINES LOCATED IN ADVANCE OF CONSTRUCTION.

6) WORK ON STRUCTURES FOR THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF ADJACENT PROPERTIES. THEREFORE, THE RISK OF A FAILURE OCCURRING DURING THE EXCAVATION REQUIRES THAT EXTREME CAUTION BE EXERCISED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE WHAT BRACING, SHORING OR GROUND SUPPORT SYSTEM THAT IS DEEMED NECESSARY TO PREVENT A FAILURE AND PROTECT THE PERSONS WORKING NEAR THE EXCAVATION, THE PUBLIC THAT MAY BE ABOVE THE EXCAVATION OR ANY STRUCTURE ADJACENT TO THE EXCAVATION. ALL COSTS FOR ANY PROTECTIVE MEASURES, INCLUDING THE MATERIALS AND LABOR FOR DESIGNING, DRAWING AND CONSTRUCTING THE FACILITY, SHALL BE INCLUDED IN THE PRICE BID FOR CONTRACT ITEMS.

7) IN ORDER TO HOLD SILT TO A MINIMUM, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES (SILT FENCE, DITCH DECKS, ETC.)

8) ANY AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR (TO INCLUDE GRASSING AND SITE GRADING) AS DIRECTED BY THE ENGINEER, ARCHITECT OR OWNER. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL FOR DISTURBED AREA UNTIL THEY HAVE BEEN GRASSED AND GROWTH ESTABLISHED.

9) THIS PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MUTCD. OTHER SIGNS AND TRAFFIC CONTROL DEVICES MAY BE REQUIRED DURING THE VARIOUS PHASES OF CONSTRUCTION. ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE M.U.T.C.D. (LATEST EDITION).

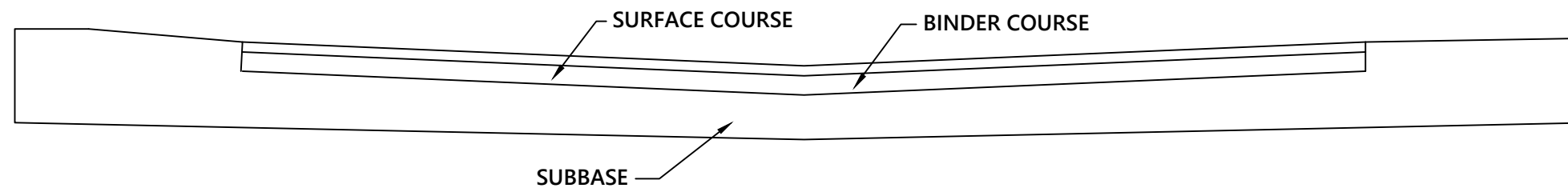
10) THE CONTRACTOR IS TO REMOVE AND RESET ANY SIGNS WHICH CONFLICT WITH CONSTRUCTION.

11) THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING GRADES AND MAKING ADJUSTMENTS AS NECESSARY WITH THE APPROVAL OF THE PROJECT ENGINEER BEFORE ORDERING MATERIALS.

12) BRICK RED TRUNCATED DOMES REQUIRED AT ALL SIDEWALK CROSSINGS

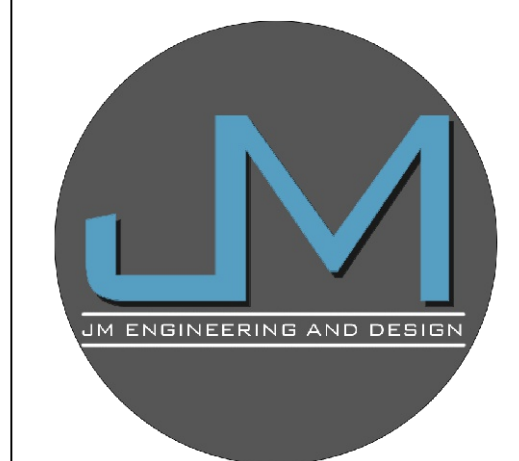
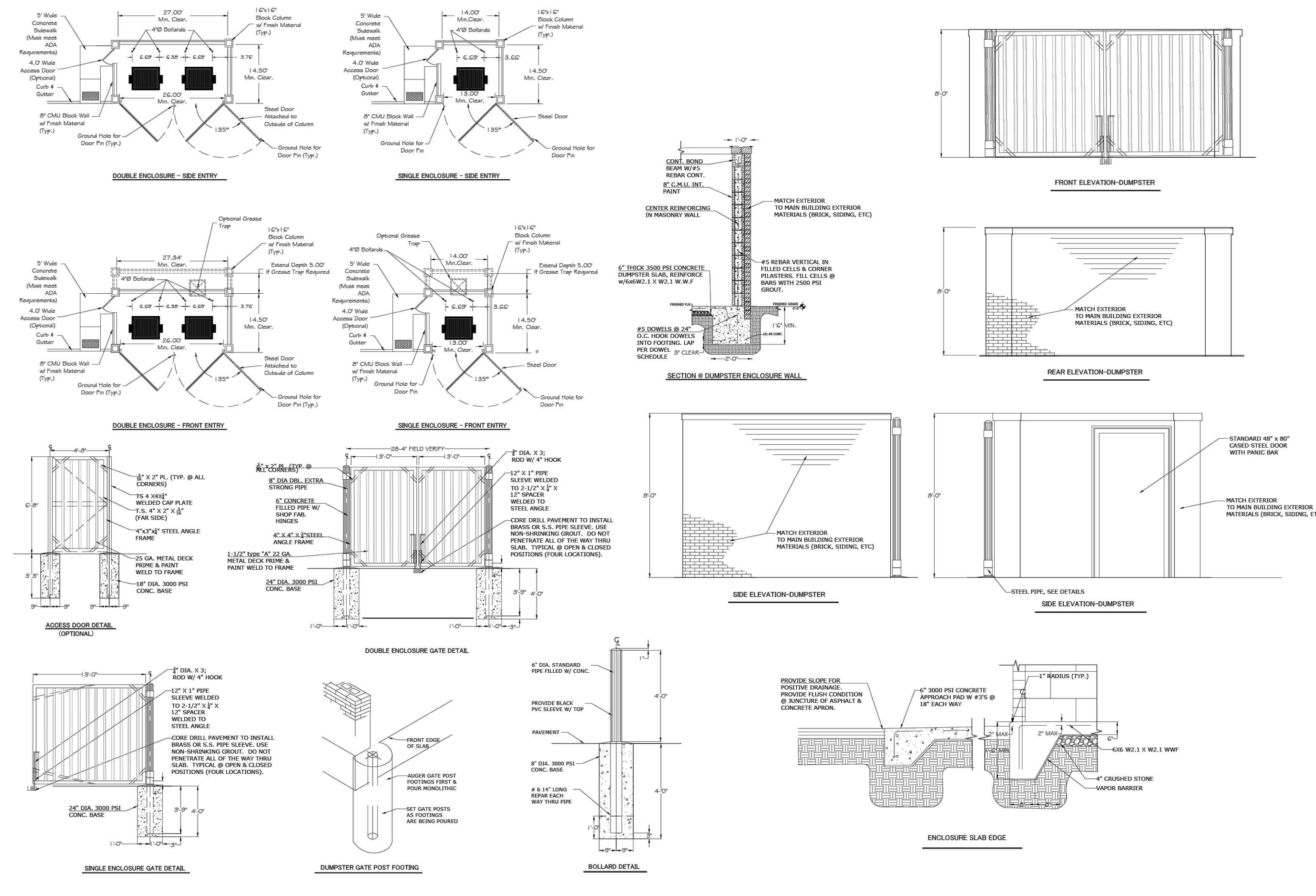
13) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUIRE A COPY OF THE GEOTECH REPORT AND FOLLOW ALL RECOMMENDATIONS.

14) ALL MATERIALS USED SHALL MEET LAFAYETTE COUNTY SPECIFICATIONS AND REQUIREMENTS.



**Typical Sections - Parking and Interior Drives**

- NTS FLEXIBLE PAVEMENT(S)  
(LIGHT-DUTY)  
SUBGRADE: 8" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.
- SUBBASE: 6" MINIMUM CRUSHED Limestone MEETING MDOT SPECIFICATIONS FOR SIZE NO. 610 AGGREGATE. COMPACT TO A MINIMUM OF 98% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.
- BASE: 2.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.
- SURFACE: 1.5" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-9.5 MM OR SC-L MATERIAL.
- (CEMENT STABILIZED ALTERNATE)  
SUBGRADE: 6" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698. INCORPORATE 6% PORTLAND CEMENT (BY VOLUME) IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS WITHIN UPPER 8" OF SUBGRADE. (APPX 34#/5Y)
- BASE: 2.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.
- SURFACE: 1.5" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-9.5 MM OR SC-L MATERIAL.
- (HEAVY-DUTY)  
SUBGRADE: 8" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.
- SUBBASE: 6" MINIMUM CRUSHED Limestone MEETING MDOT SPECIFICATIONS FOR SIZE NO. 610 AGGREGATE. COMPACT TO A MINIMUM OF 98% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.
- BASE: 4.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19 MM OR BB-1 MATERIAL.
- SURFACE: 2.0" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-9.5 MM OR SC-1 MATERIAL.
- (CEMENT STABILIZED ALTERNATE)  
SUBGRADE: 6" MINIMUM PROCESSED IN-SITU SOILS OR SELECT IMPORTED FILL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698. INCORPORATE 6% PORTLAND CEMENT (BY VOLUME) IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS WITHIN UPPER 8" OF SUBGRADE. (APPX 34#/5Y)
- BASE: 4.0" MINIMUM HOT MIXED BITUMINOUS BASE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-19MM OR BB-1 MATERIAL.
- SURFACE: 2.0" MINIMUM HOT MIXED BITUMINOUS SURFACE COURSE CONFORMING TO MDOT STANDARD SPECIFICATIONS FOR TYPE MT-9.5 MM OR SC-L MATERIAL.

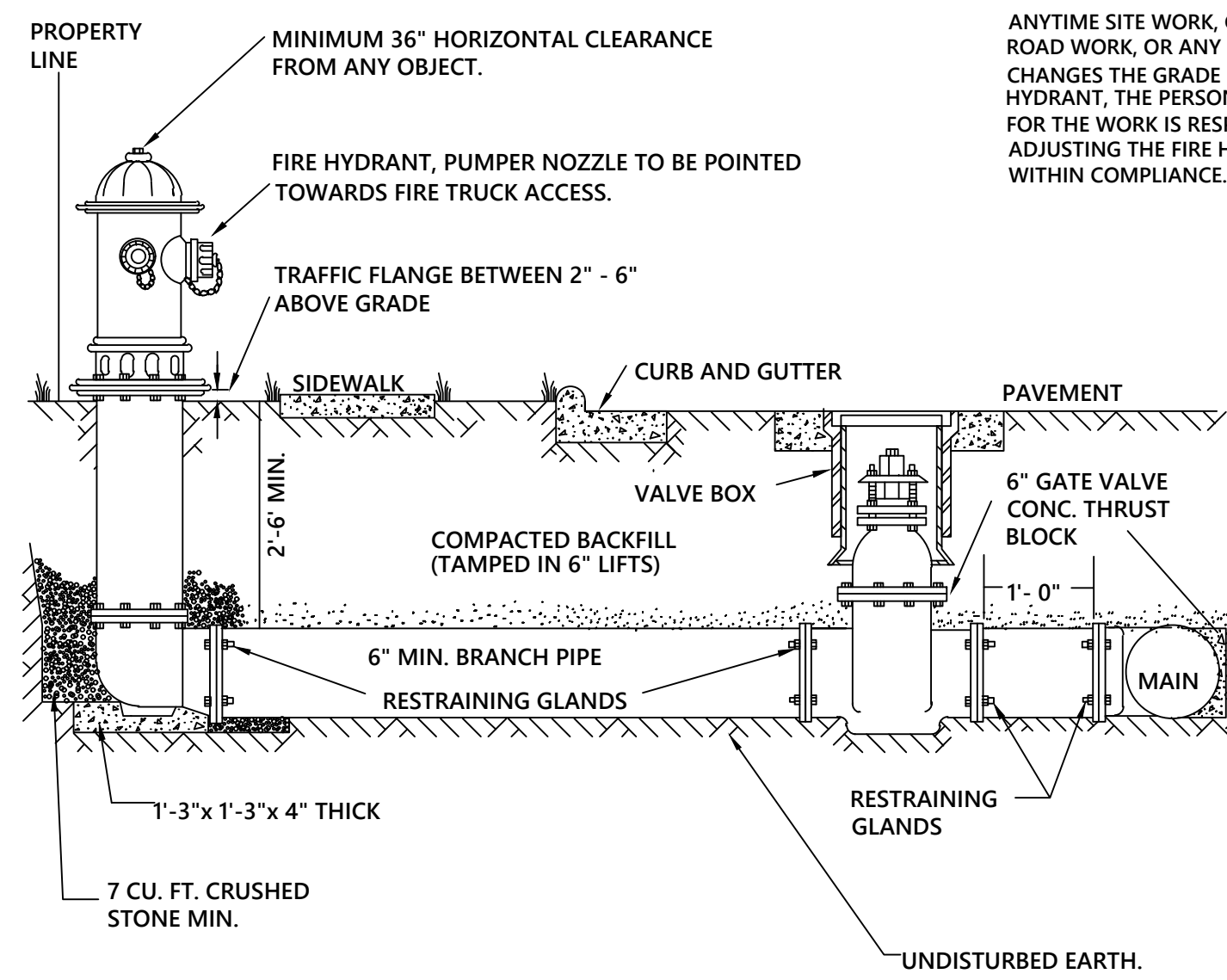


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**SITE DETAILS**  
**PINE CREST COVE - PHASE 2**  
**CAMP GROUND ROAD**  
**LAFAYETTE COUNTY, MISSISSIPPI**

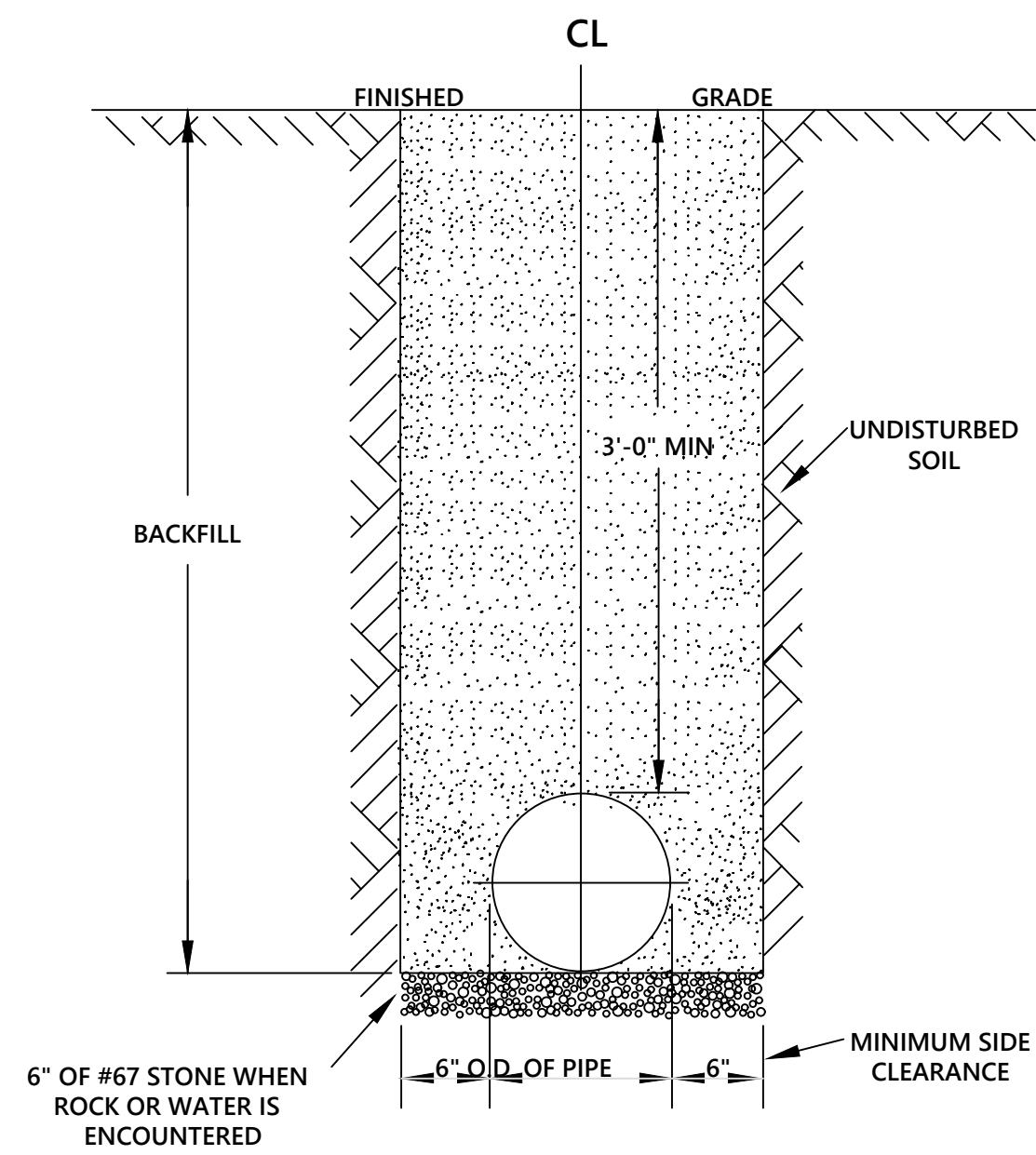
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CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	
REVISION	06/15/2026

**C-800**



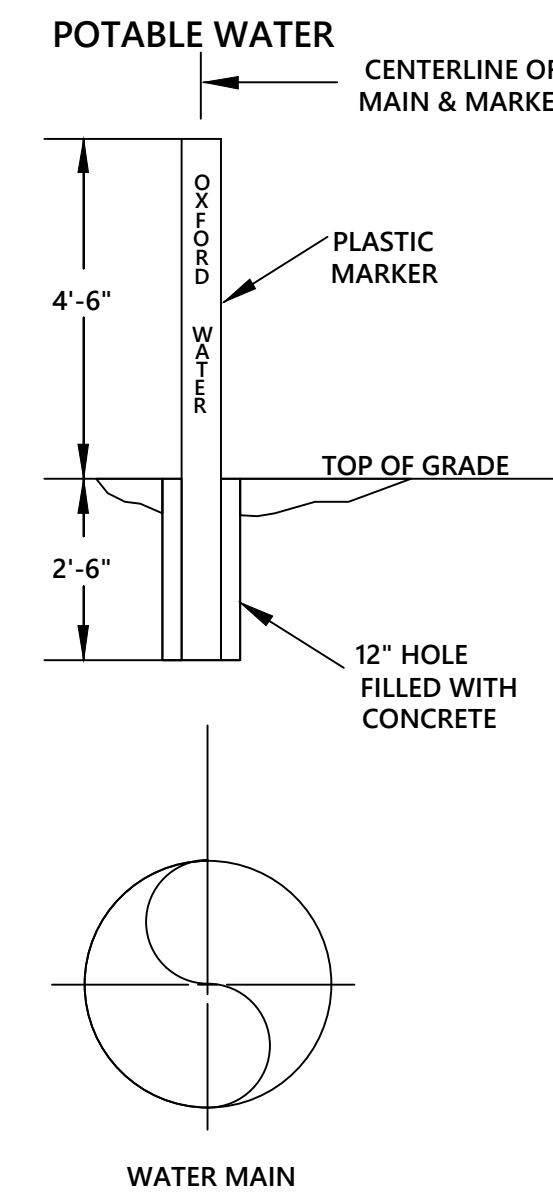
- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, M&H, WATEROUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
  2. BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150-96
  3. 6\"/>

FIRE HYDRANT INSTALLATION DETAIL



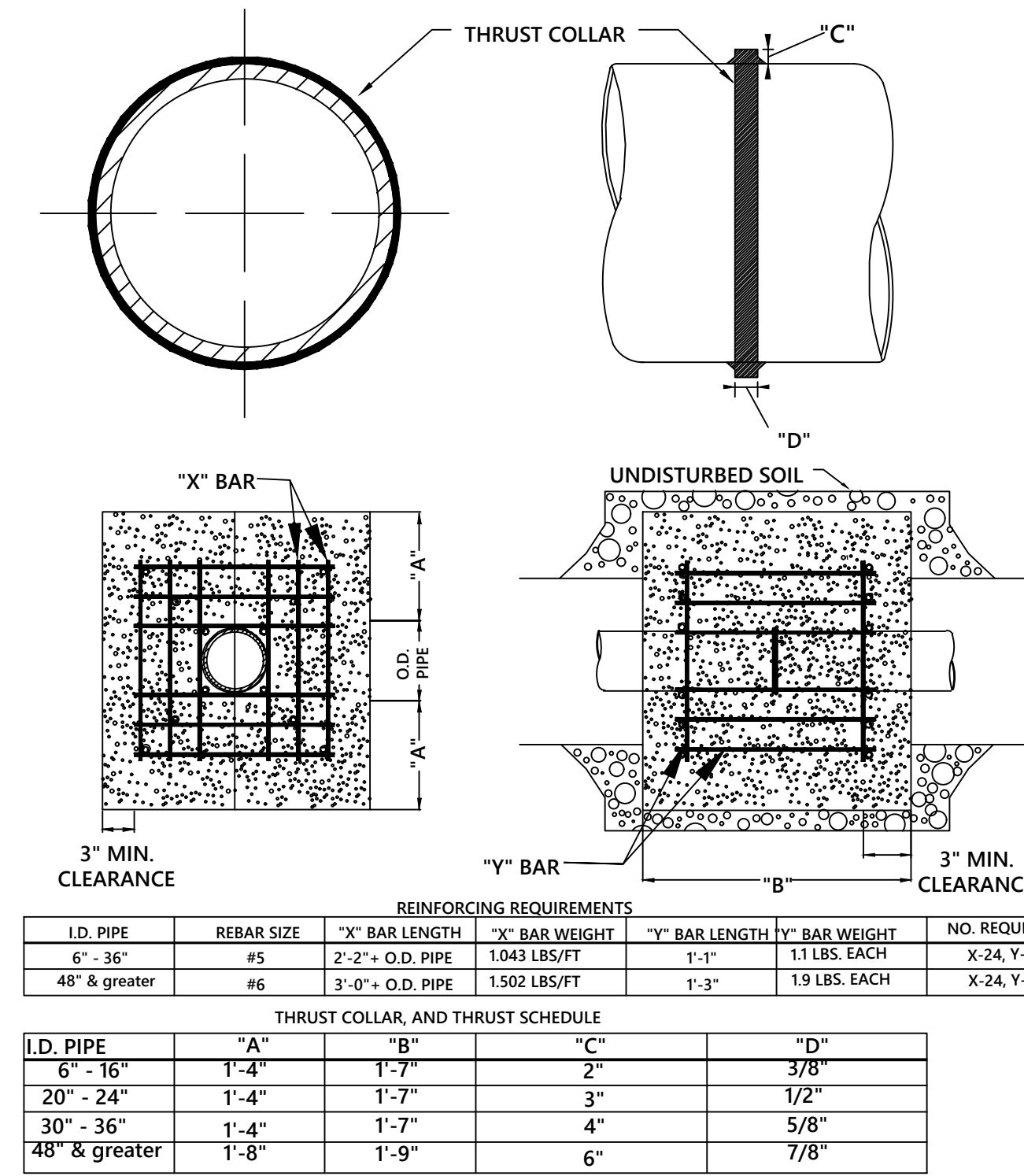
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4\"/>

TRENCH REQUIREMENTS FOR MAIN



- NOTES:
1. POTABLE WATER MARKER TO BE BLUE IN COLOR.
  2. POTABLE WATER MARKER TO BE LABELED \"OXFORD WATER\".
  3. TO BE SPACED ALONG CENTERLINE OF MAIN EVERY 300 FEET.
  4. MARKERS TO BE ROUND AND 4\"/>

TRENCH REQUIREMENTS FOR MAIN

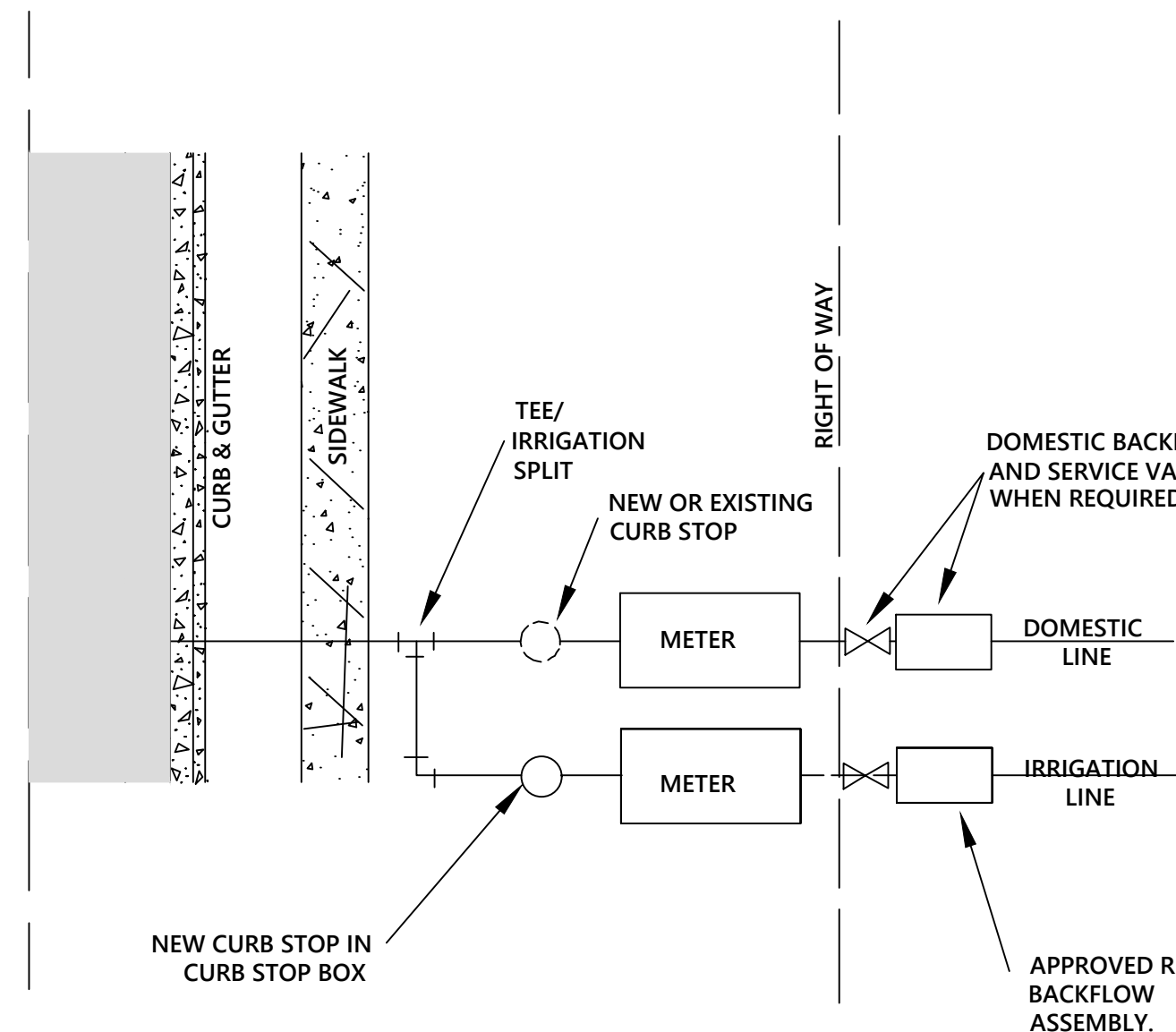


REINFORCING REQUIREMENTS						
I.D. PIPE	REBAR SIZE	\"X\" BAR LENGTH	\"X\" BAR WEIGHT	\"Y\" BAR LENGTH	\"Y\" BAR WEIGHT	NO. REQUIRED
6\"/>						

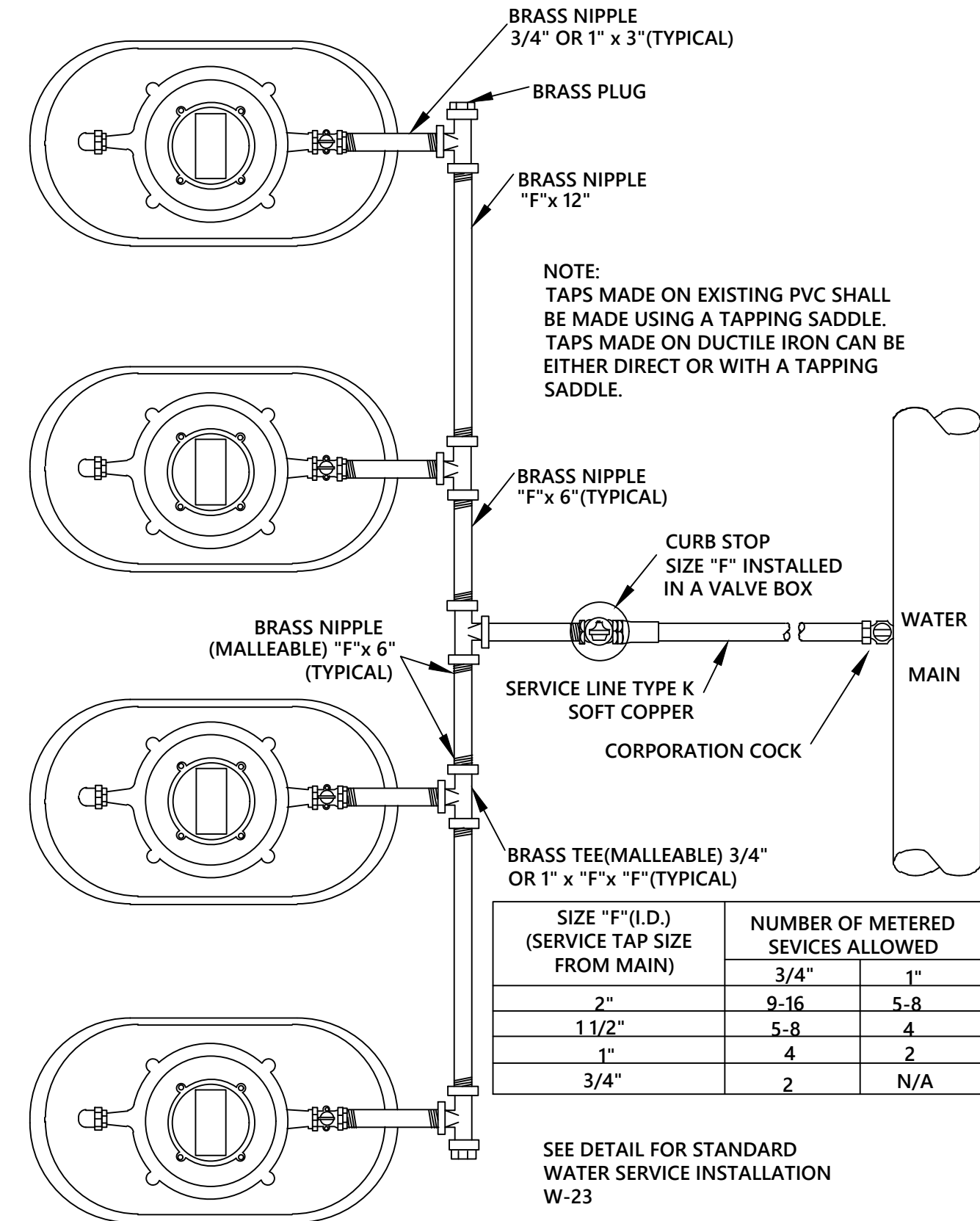
THRUST COLLAR AND THRUST SCHEDULE				
I.D. PIPE	\"A\"	\"B\"	\"C\"	\"D\"
6\"/>				

THRUST BLOCKING DESIGN DATA



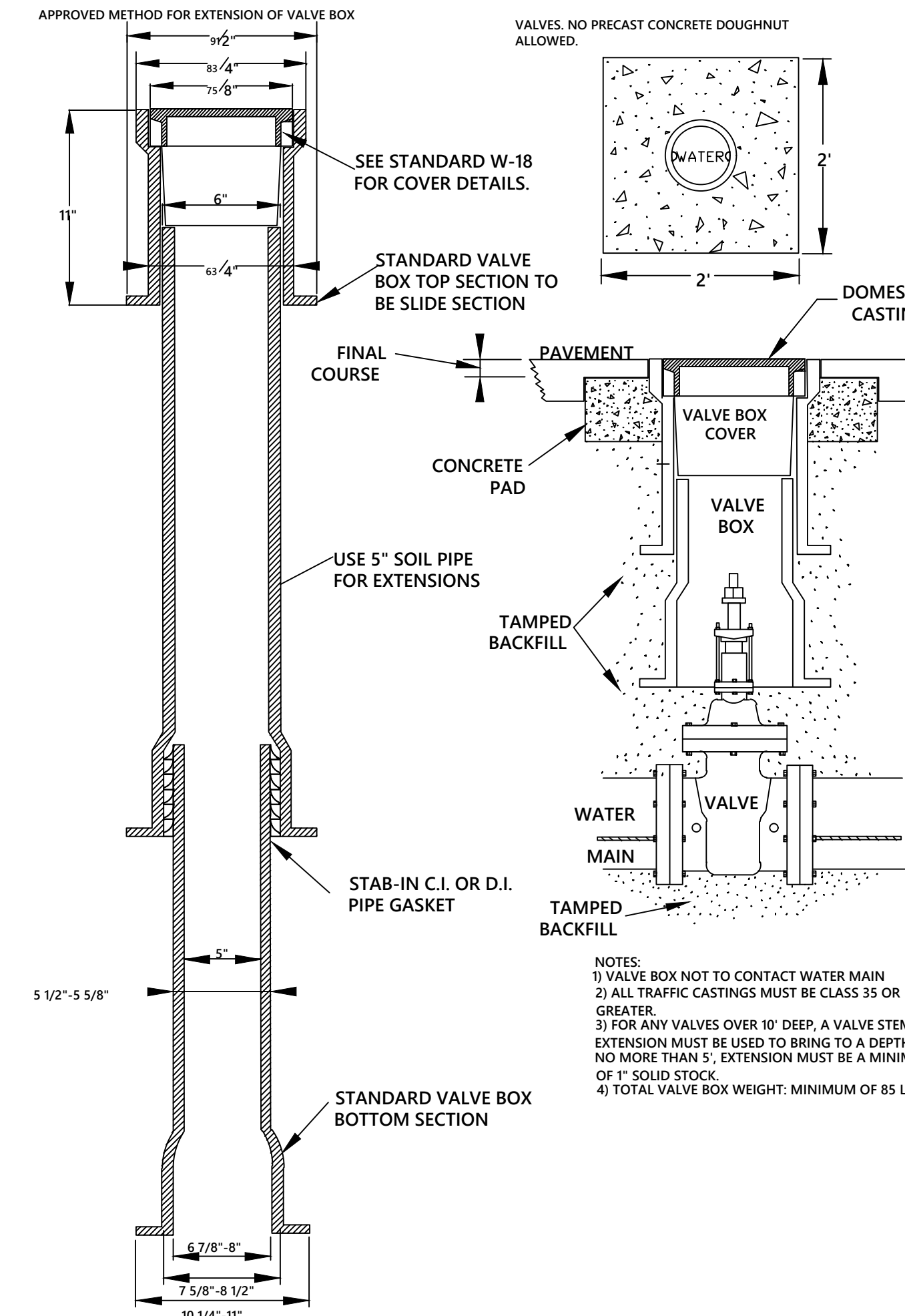
- NOTES:
1. IRRIGATION METER SHALL BE LOCATED ON THE SIDE OF DOMESTIC METER WITH INCREASING ADDRESSES.
  2. THE BACKFLOW SHALL BE INSTALLED NO MORE THAN 10' FROM THE METER IN A VISIBLE LOCATION.
  3. BACKFLOW RISER/STANDPIPE SHALL BE OF COPPER OR BRASS.
  4. A SERVICE VALVE IS REQUIRED AFTER THE METER BUT BEFORE THE BACKFLOW ASSEMBLY FOR MAINTENANCE AND REPLACEMENT PURPOSES.
  5. THE INSTALLATION MUST ALSO MEET ALL CODE REQUIREMENTS PER THE NC PLUMBING CODE.

IRRIGATION TAP ON NEW AND EXISTING SERVICES



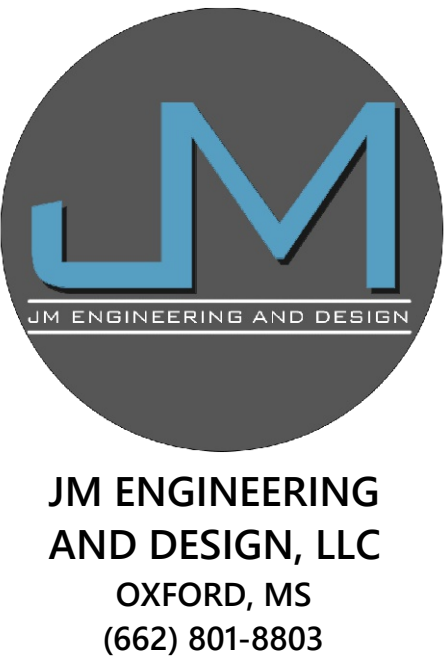
SIZE \"F\" (I.D.) (SERVICE TAP SIZE FROM MAIN)	NUMBER OF METERED SERVICES ALLOWED
3/4\"/>	

STANDARD GANG METER ASSEMBLY



- NOTES:
1. VALVE BOX NOT TO CONTACT WATER MAIN
  2. ALL TRAFFIC CASTINGS MUST BE CLASS 35 OR GREATER.
  3. FOR ANY VALVES OVER 10' DEEP, A VALVE STEM EXTENSION MUST BE USED TO BRING TO A DEPTH OF NO MORE THAN 5'; EXTENSION MUST BE A MINIMUM OF 1\"/>

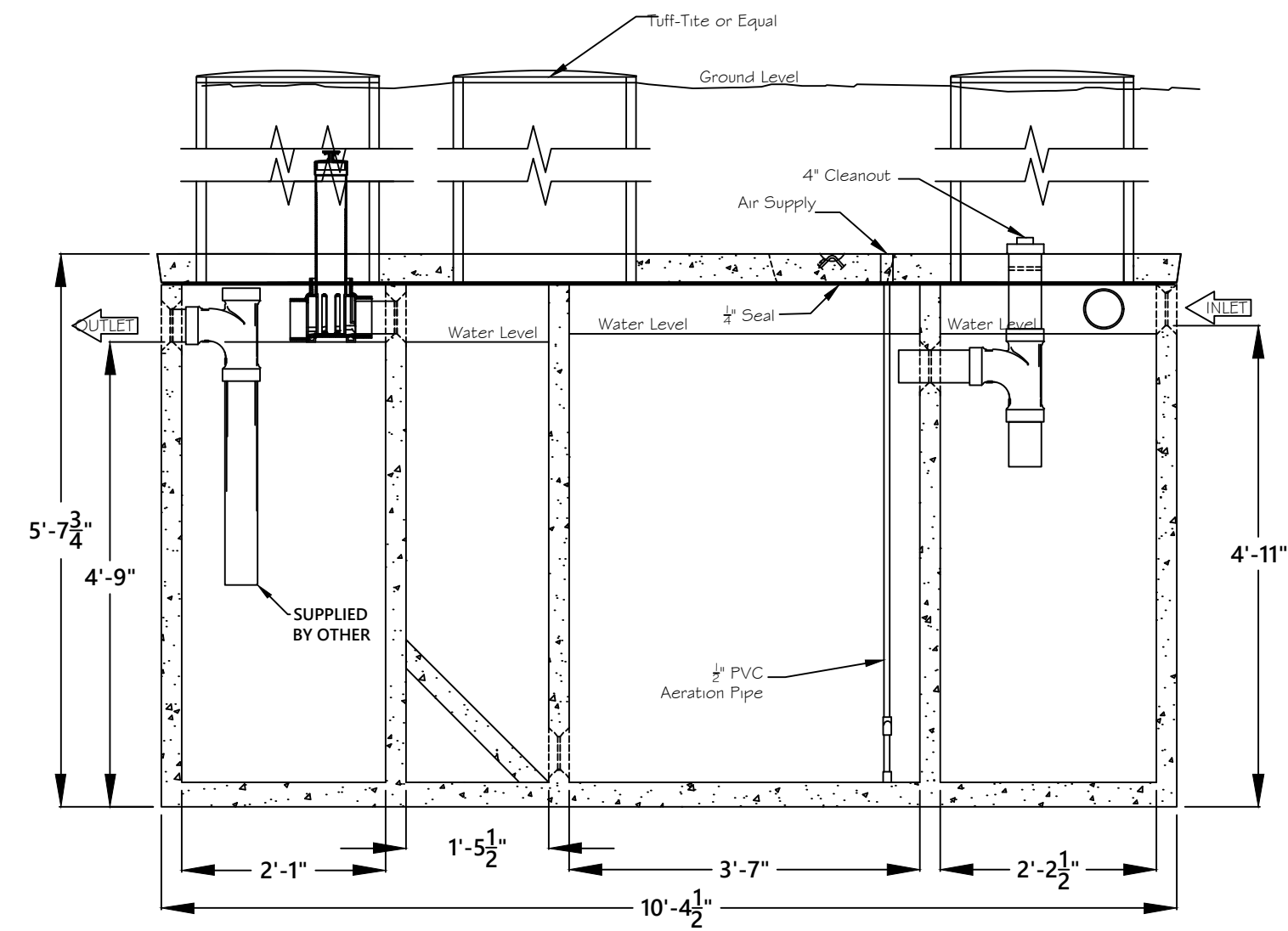
VALVE BOX INSTALLATION



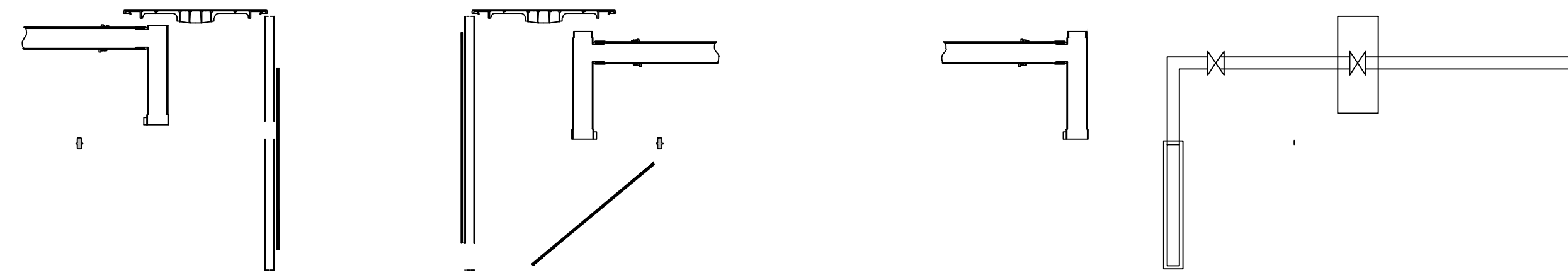
WATER DETAILS  
**PINE CREST COVE - PHASE 2**  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
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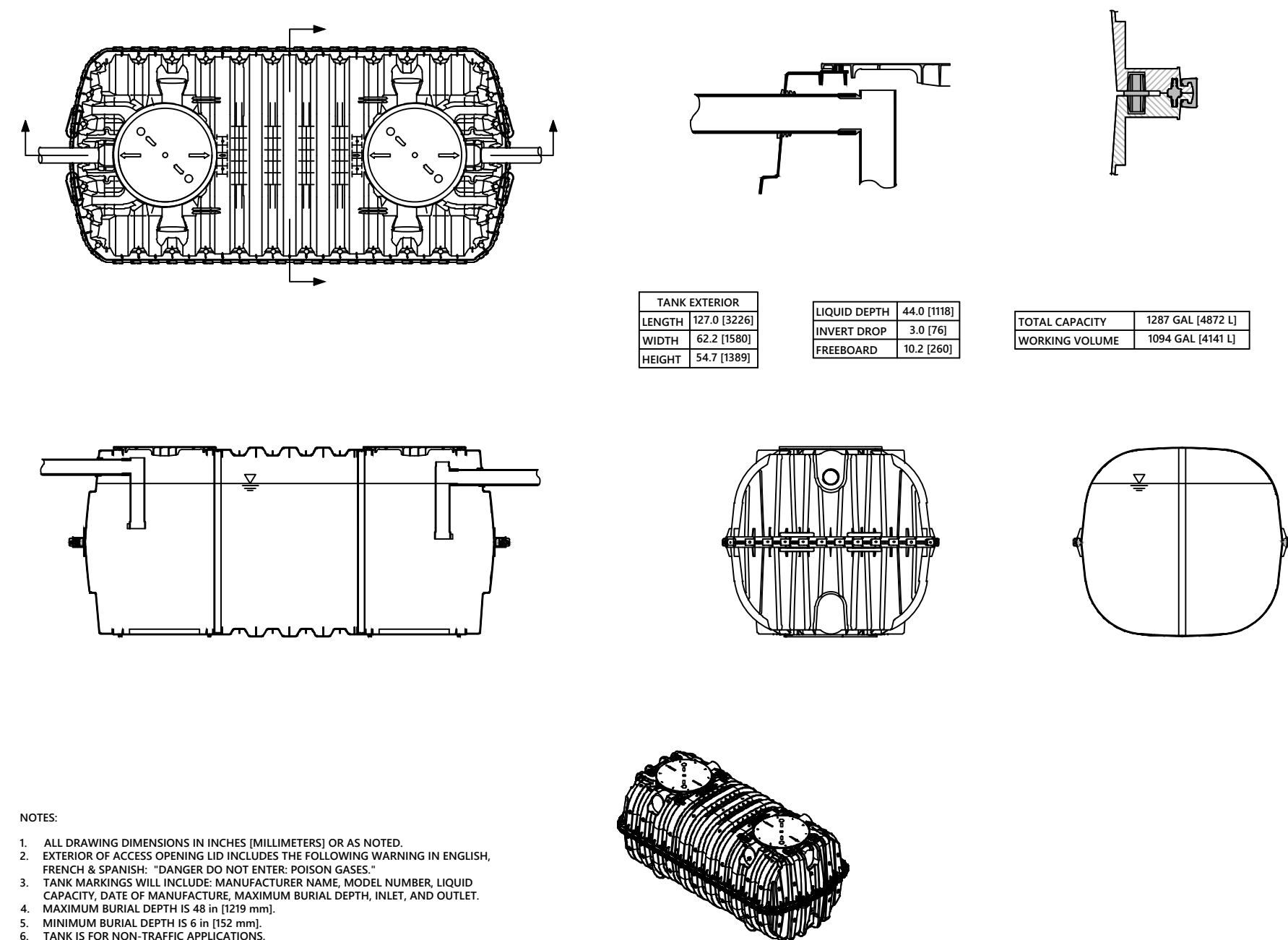
C-801



520 GPD TREATMENT SYSTEM

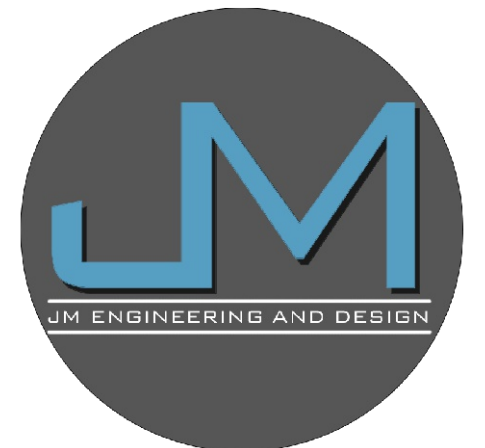


TREATMENT TO PUMP DETAIL



- NOTES:
1. ALL DRAWING DIMENSIONS IN INCHES (MILLIMETERS) OR AS NOTED.
  2. EXTERIOR OF ACCESS OPENING LID INCLUDES THE FOLLOWING WARNING IN ENGLISH, FRENCH & SPANISH: "DANGERS DO NOT ENTER, POUX GAZES".
  3. TANK MARKINGS WILL INCLUDE MANUFACTURER NAME, MODEL NUMBER, LIQUID CAPACITY, DATE OF MANUFACTURE, MAXIMUM BURIAL DEPTH, INLET, AND OUTLET.
  4. MAXIMUM BURIAL DEPTH IS 48 in (1219 mm).
  5. MINIMUM BURIAL DEPTH IS 6 in (152 mm).
  6. TANK IS FOR NON-TRAFFIC APPLICATIONS.
  7. AIRSPACE IS 16.5%.
  8. OUTLET TIE IS COMPATIBLE WITH AN EFFLUENT FILTER.
  9. INTERIOR LENGTH TO WIDTH RATIO IS 2.31 (78.8 INCH LENGTH / 51.7 INCH WIDTH = 2.3).

520 GPD TREATMENT SYSTEM

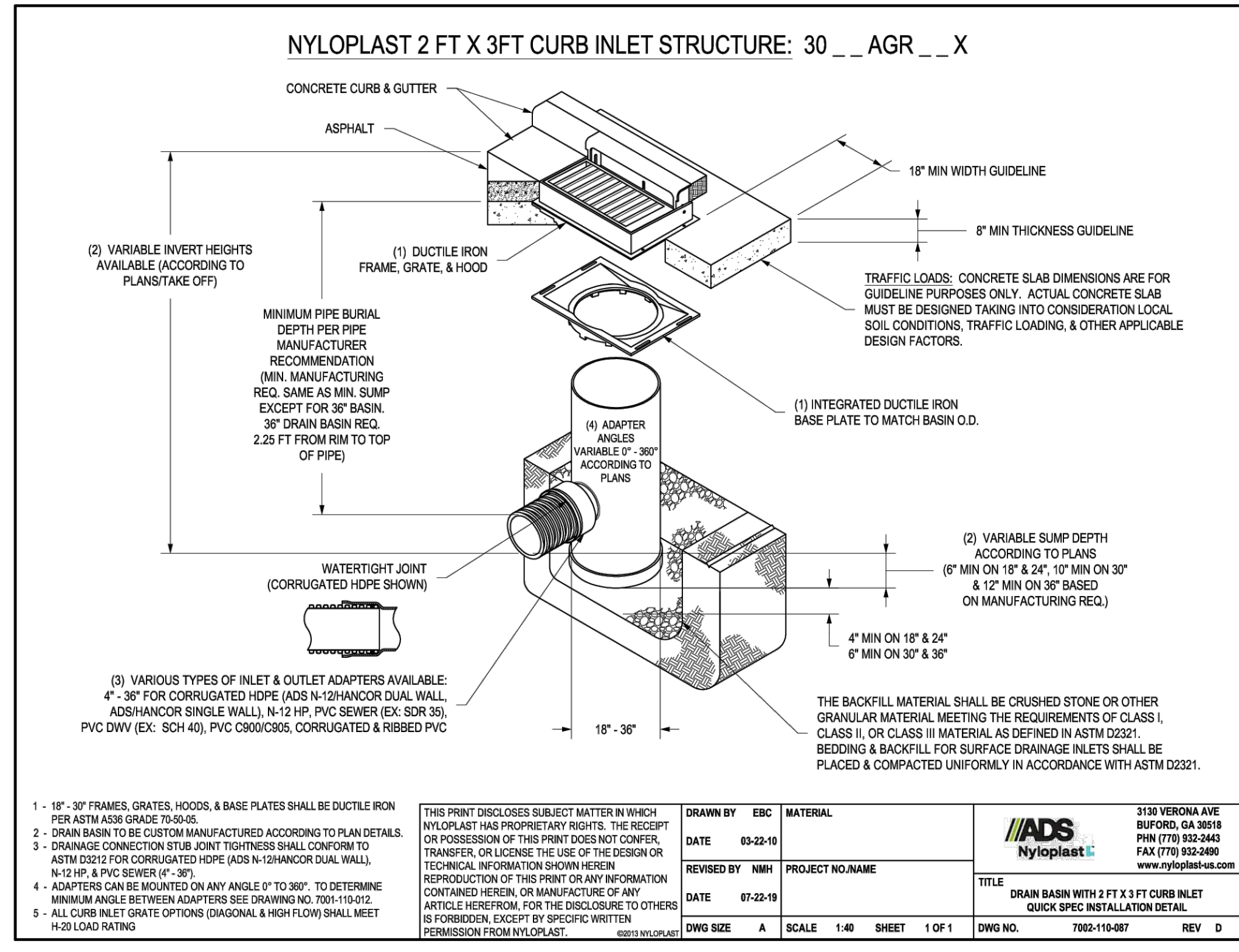


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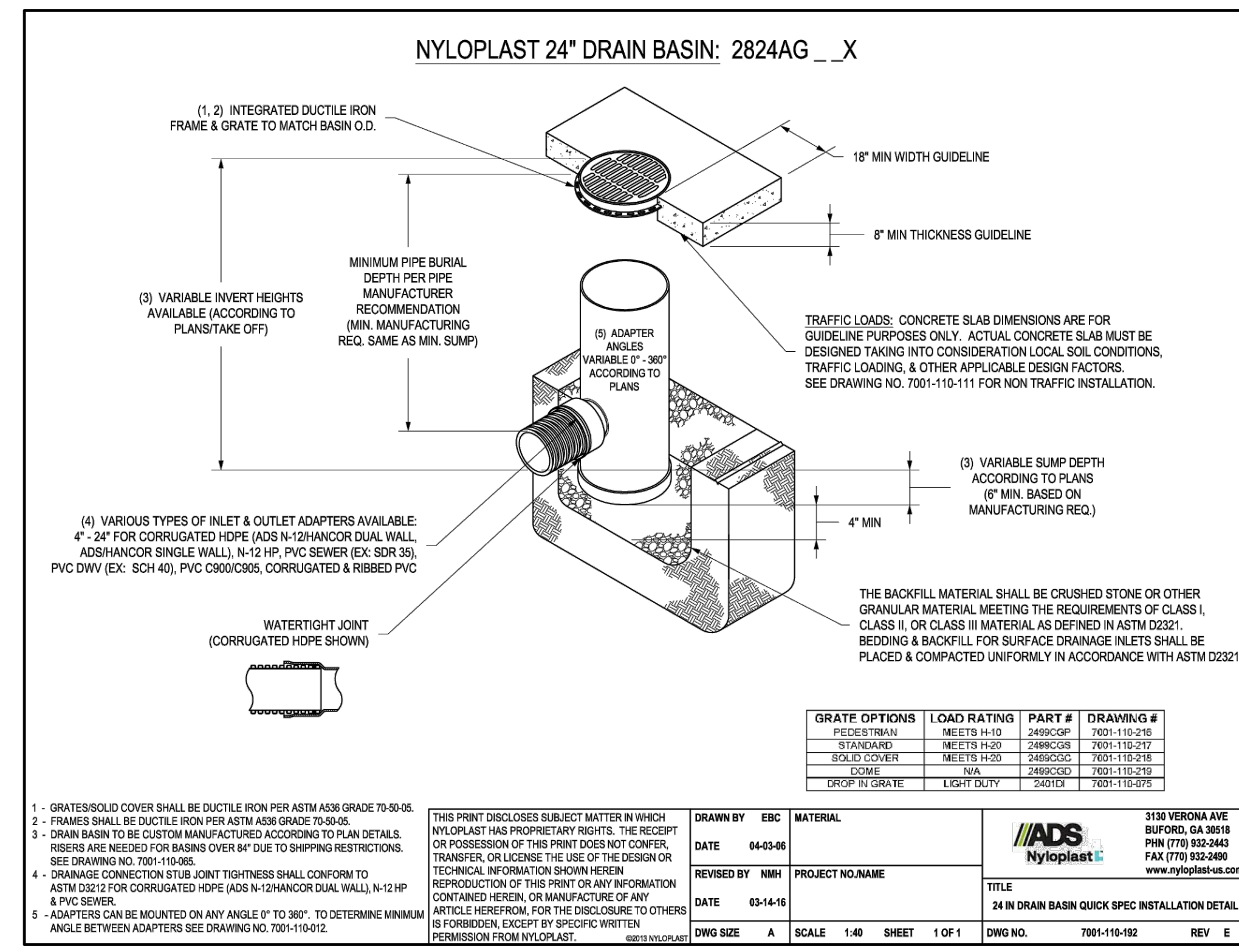
SEWER DETAILS  
**PINE CREST COVE - PHASE 2**  
 CAMP GROUND ROAD  
 LAFAYETTE COUNTY, MISSISSIPPI

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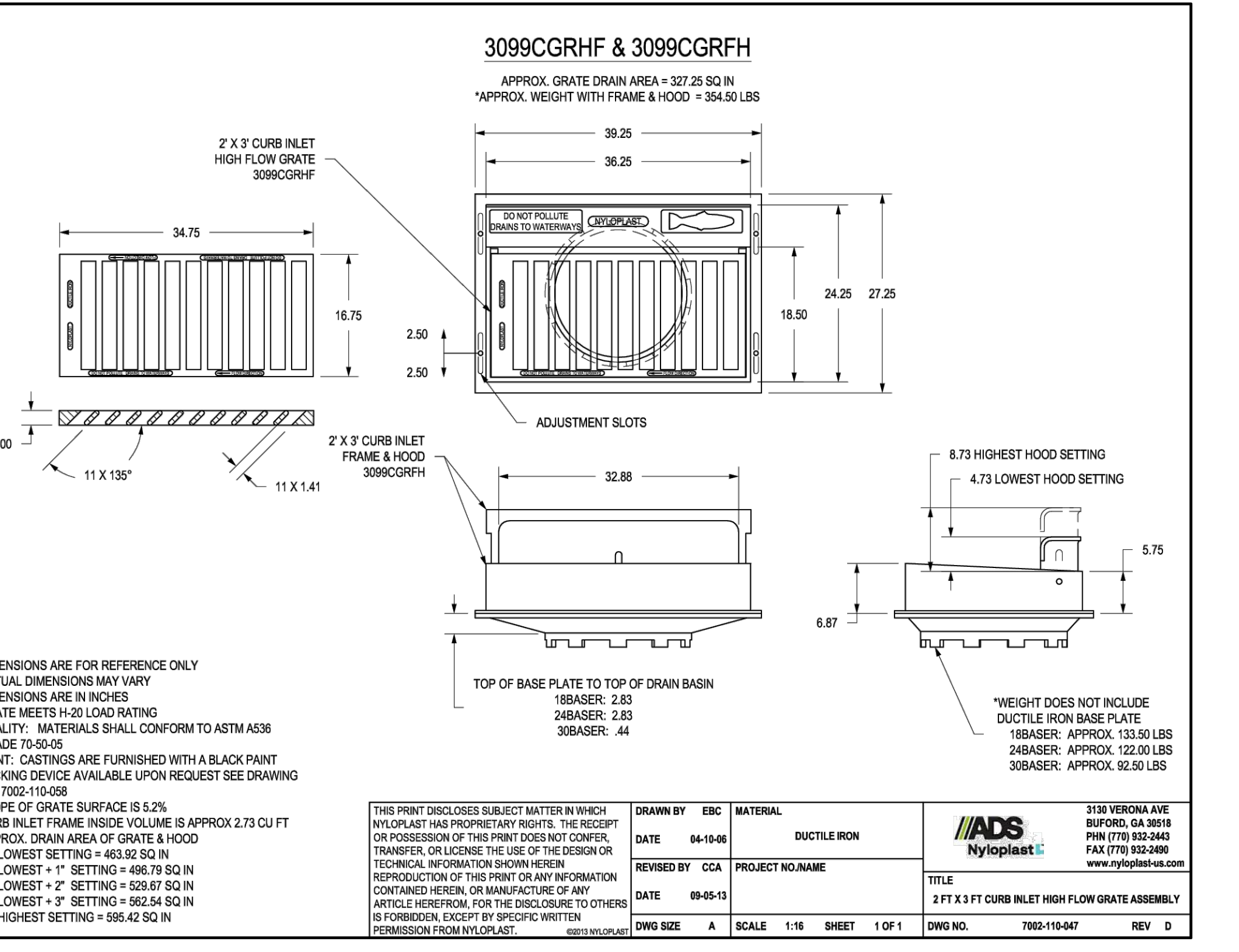
C-802



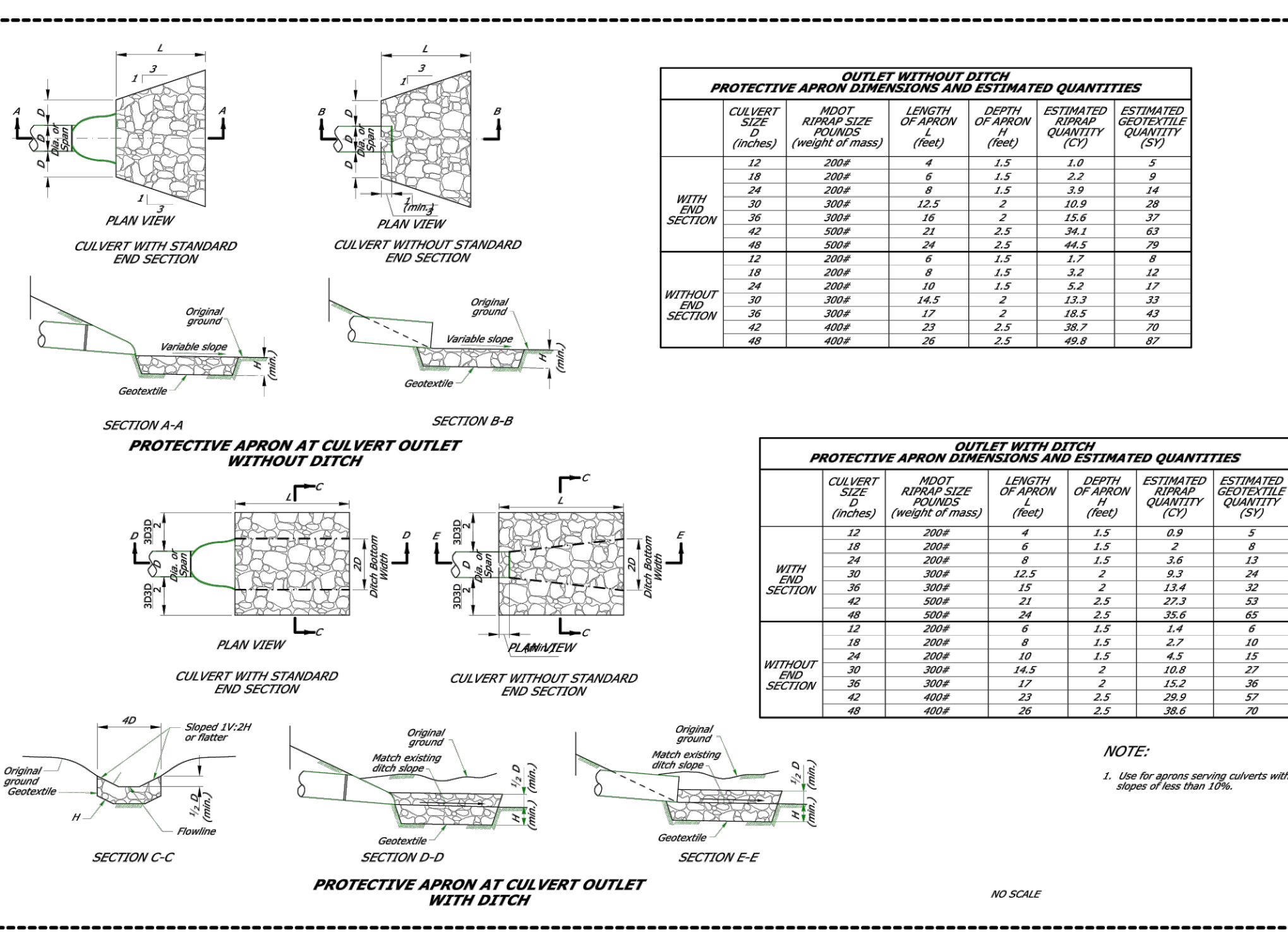
CURB INLET DETAIL



SURFACE INLET DETAIL



CURB INLET GRATE ASSEMBLY DETAIL



RIP-RAP DETAIL

STORM DRAIN TRENCH REQUIREMENTS



**STORM DRAINAGE DETAILS**

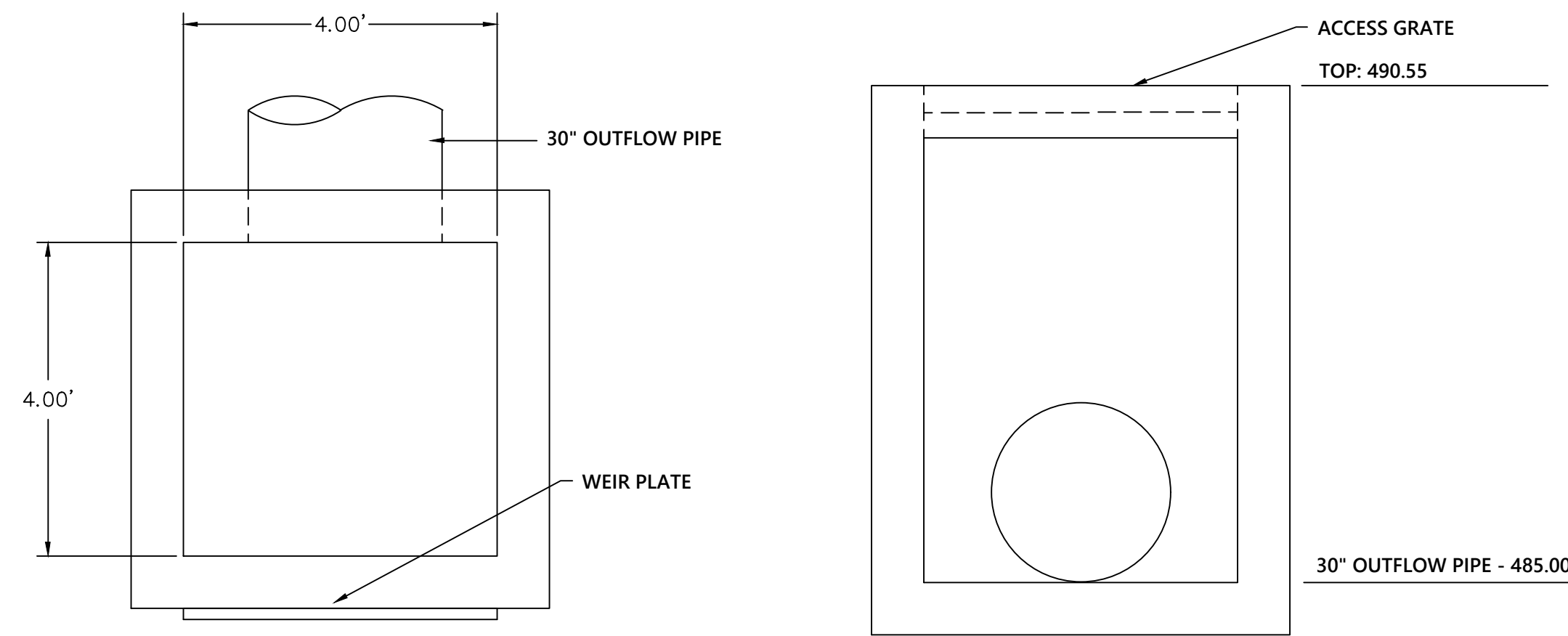
**PINE CREST COVE - PHASE 2**

**CAMP GROUND ROAD**

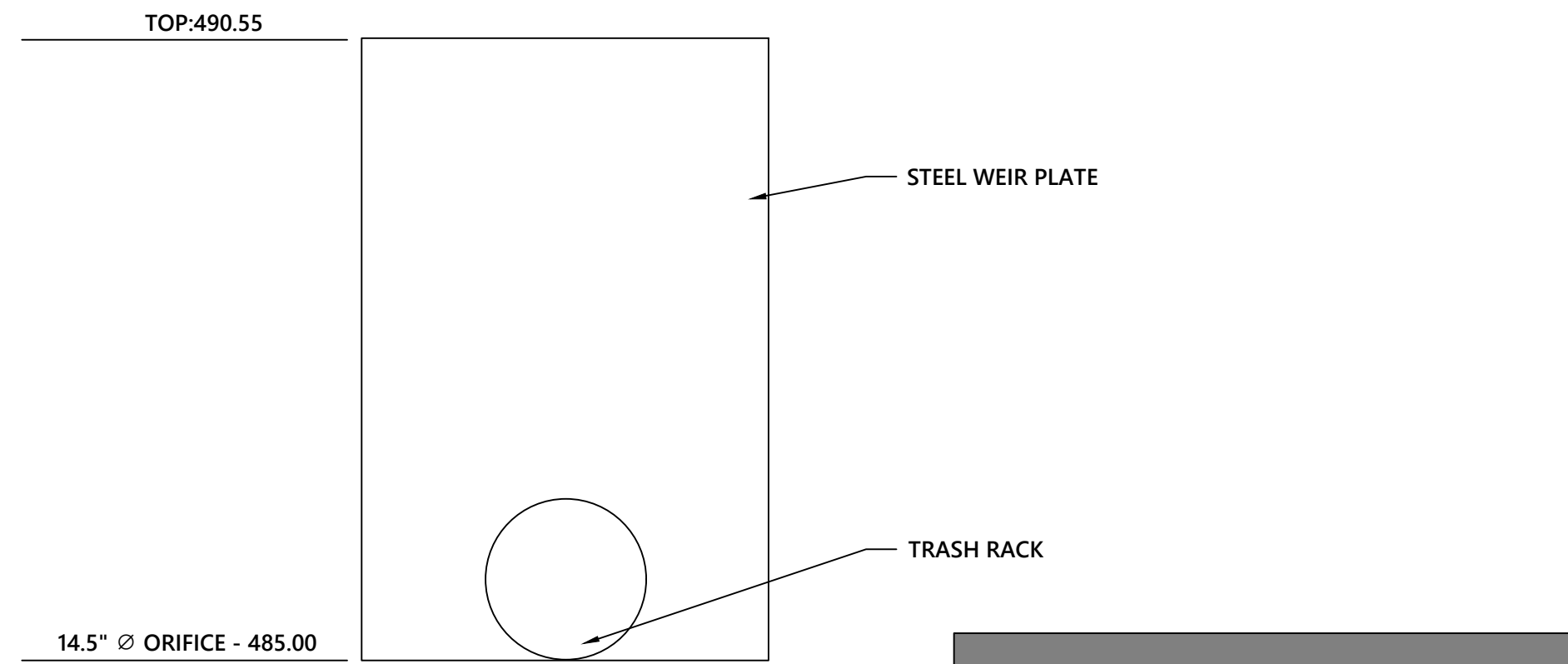
**LAFAYETTE COUNTY, MISSISSIPPI**

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REVISION	06/15/2026

**C-803**



SOUTH ELEVATION



WEIR PLATE DETAIL

OUTLET CONTROL STRUCTURE (OCS)  
#1 DETAIL

**FLAT ROOF RECTANGULAR RACKS/WEIRS (STANDARD SIZES)**  
DIMENSIONS IN INCHES TO THE NEAREST 1/4"

HOST STRUCTURE INSIDE DIMENSIONS  
LENGTH WALL THICKNESS (REQUIRED)  
WIDTH

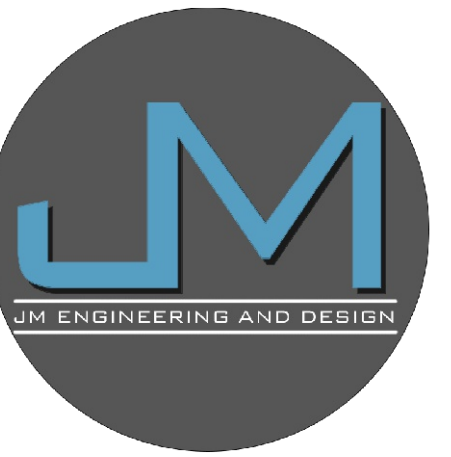
\*AS DISTRIBUTED BY CONTECH CONSTRUCTION PRODUCTS NATIONALLY\*

WIDTH (A)	11 3/8	16 3/4	22 1/8	27 1/2	32 7/8	38 1/4	43 5/8	49	54 3/8	59 3/4	65 1/8	70 1/2	75 7/8	81 7/8	87 1/4
CODE	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
LENGTH (B)	11 3/8	16 3/4	22 1/8	27 1/2	32 7/8	38 1/4	43 5/8	49	54 3/8	59 3/4	65 1/8	70 1/2	75 7/8	81 7/8	87 1/4
CODE	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
HEIGHT (C)	1 1/2	12 7/8													
CODE	01	02													
	1 GRID HIGH	2 GRID HIGH													
	FLAT ROOF (FR)		WIDTH (A)	LENGTH (B)	HEIGHT (C)										

**CONTECH**  
CONSTRUCTION PRODUCTS INC.  
1000 W. 10TH ST. SUITE 100  
MCKEAN, MISSISSIPPI 39238  
601-921-1111 FAX: 601-921-1118  
© CONTECH

CUSTOMER: \_\_\_\_\_ DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
PROJECT: \_\_\_\_\_ APP'D BY: \_\_\_\_\_  
DETAIL: \_\_\_\_\_

CONTECH TRASH RACK DETAIL

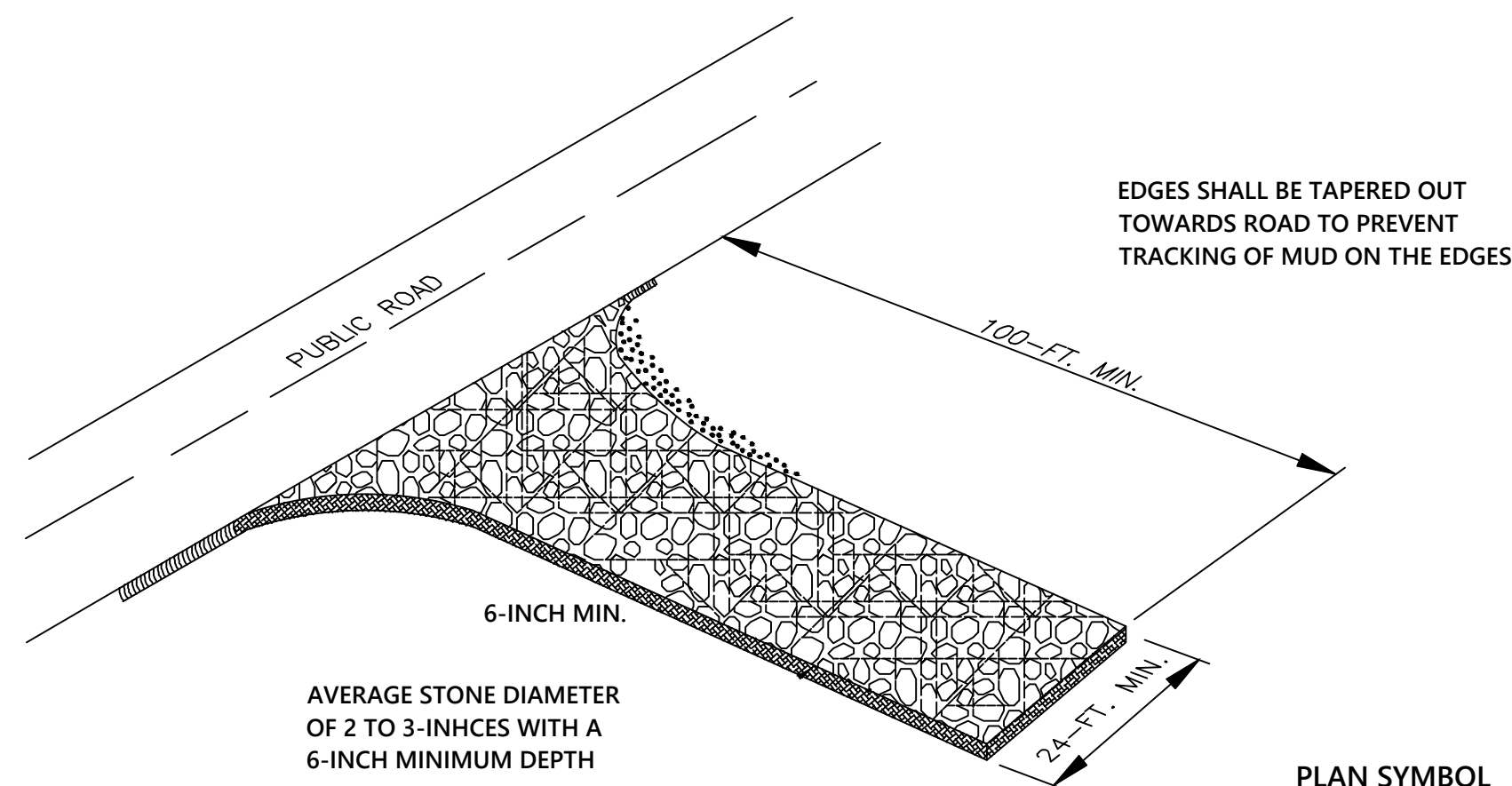


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OUTLET CONTROL STRUCTURE DETAILS  
PINE CREST COVE - PHASE 2  
CAMP GROUND ROAD  
LAFAYETTE COUNTY, MISSISSIPPI

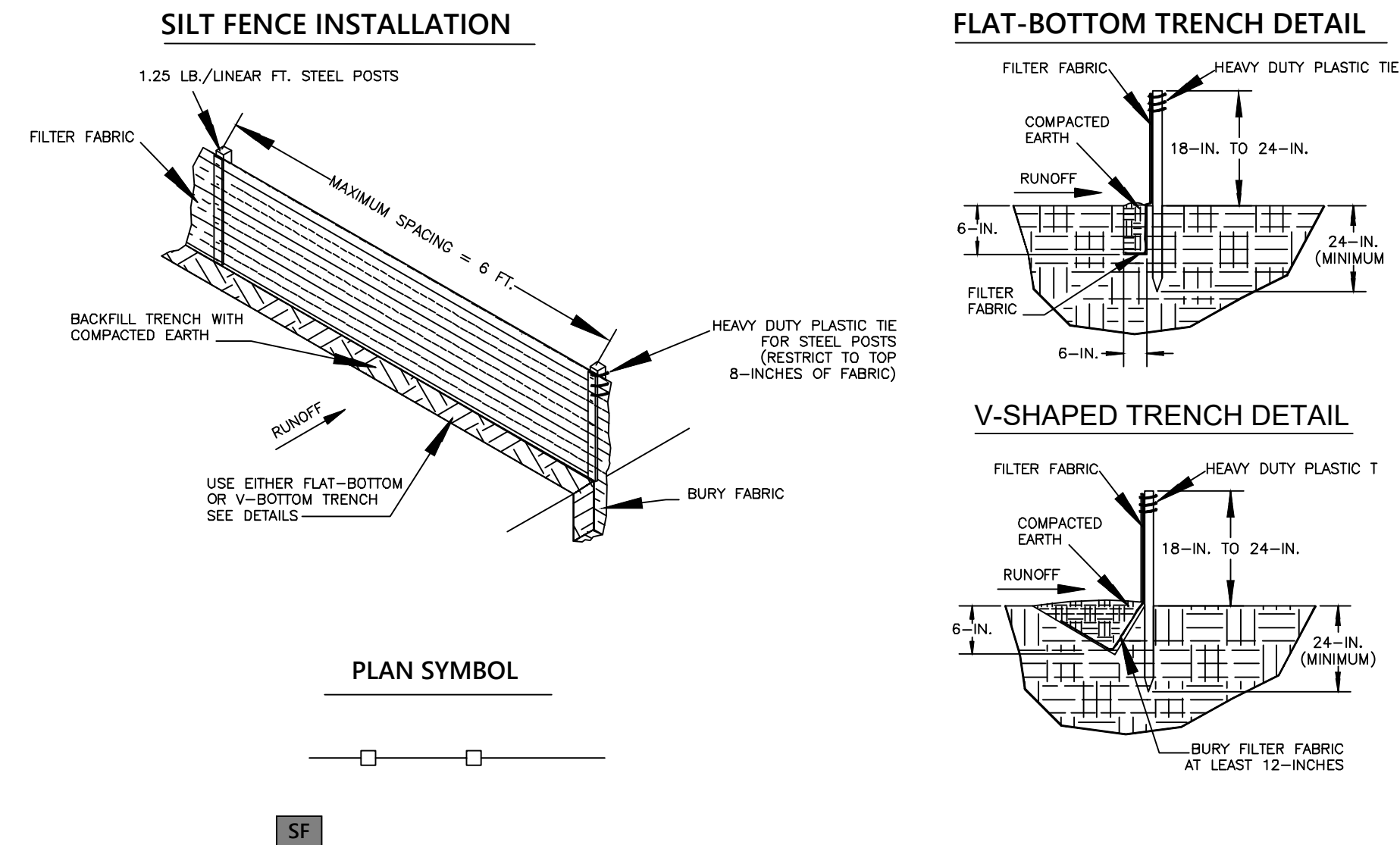
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C-803-1



SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE LENGTH	D = 2-3 INCHES

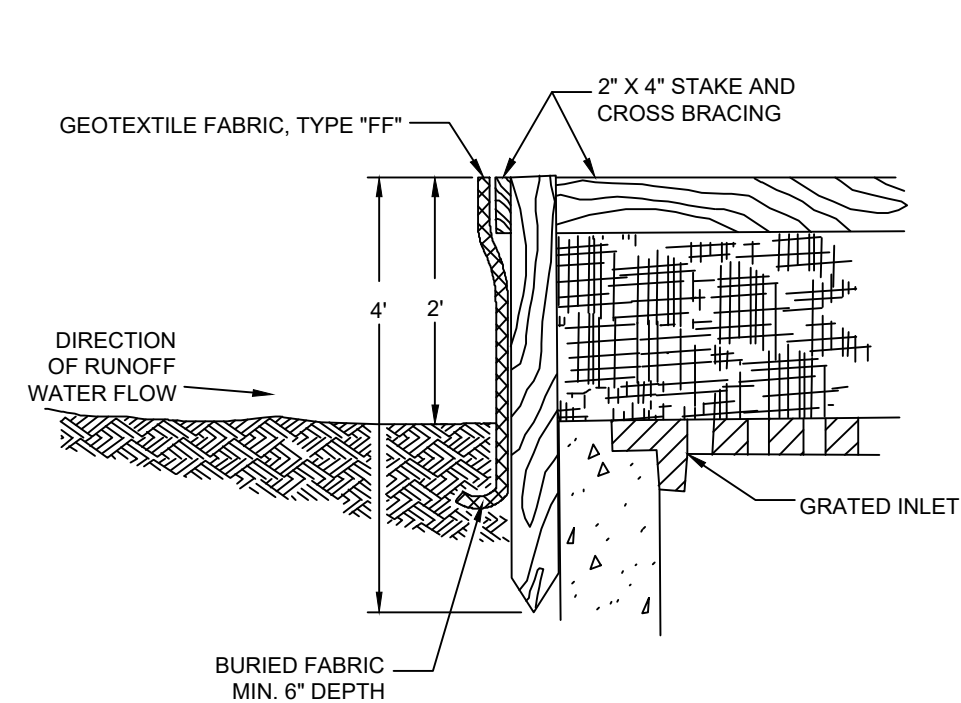
CONSTRUCTION ENTRANCE DETAIL



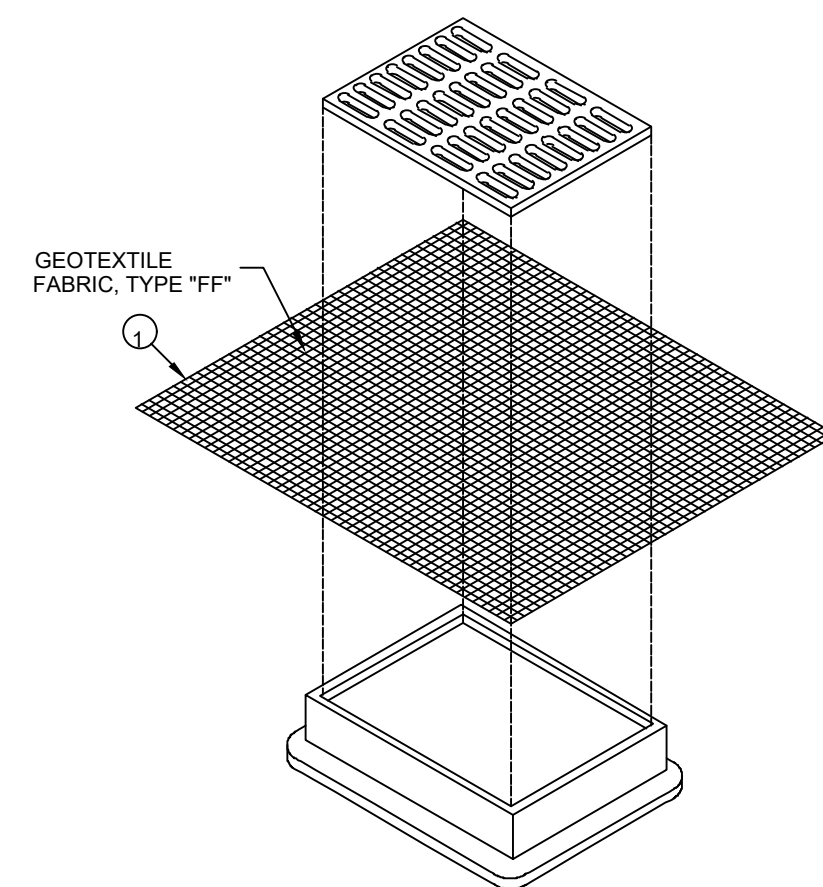
SILT FENCE - GENERAL NOTES

- DO NOT PLACE SILT FENCE ACROSS CHANNELS OR IN OTHER AREAS SUBJECT TO CONCENTRATED FLOWS. SILT FENCE SHOULD NOT BE USED AS A VELOCITY CONTROL BMP. CONCENTRATED FLOWS ARE ANY FLOWS GREATER THAN 0.5 CFS.
- MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE SILT FENCE SHALL BE 100-FEET.
- MAXIMUM SLOPE STEEPNESS (NORMAL PERPENDICULAR TO THE FENCE LINE) SHALL BE 2:1.
- SILT FENCE JOINS, WHEN NECESSARY, SHALL BE COMPLETED BY ONE OF THE FOLLOWING OPTIONS:
  - WRAP EACH FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 1-FOOT MINIMUM OVERLAP
  - OVERLAP SILT FENCE BY INSTALLING 3-FEET PASSED THE SUPPORT POST TO WHICH THE NEW SILT FENCE ROLL IS ATTACHED. ATTACH OLD ROLL TO NEW ROLL WITH HEAVY-DUTY PLASTIC TIES; OR,
  - OVERLAP ENTIRE WIDTH OF EACH SILT FENCE ROLL FROM SUPPORT POST TO THE NEXT SUPPORT POST.
- ATTACH FILTER FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED WITH THE TOP 8-INCHES OF THE FABRIC.
- INSTALL THE SILT FENCE PERPENDICULAR TO THE DIRECTION OF THE STORMWATER FLOW AND PLACE THE SILT FENCE THE PROPER DISTANCE FROM THE TOP OF THE STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.
- INSTALL SILT FENCE CHECK (TIE-BACKS) EVERY 50-100 FEET, DEPENDENT ON SLOPE, ALONG SILT FENCE THAT IS INSTALLED WITH SLOPE AND WHERE CONCENTRATED FLOWS ARE EXPECTED OR ARE DOCUMENTED ALONG THE PROPOSED/INSTALLED SILT FENCE.

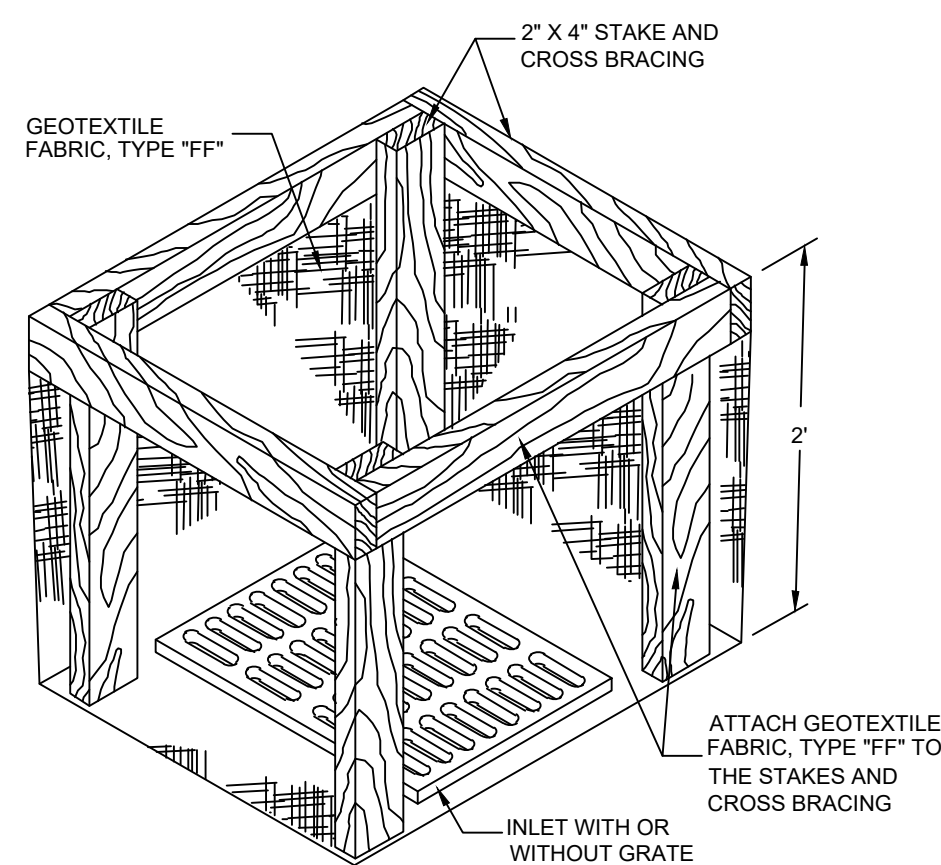
SILT FENCE INSTALLATION DETAIL



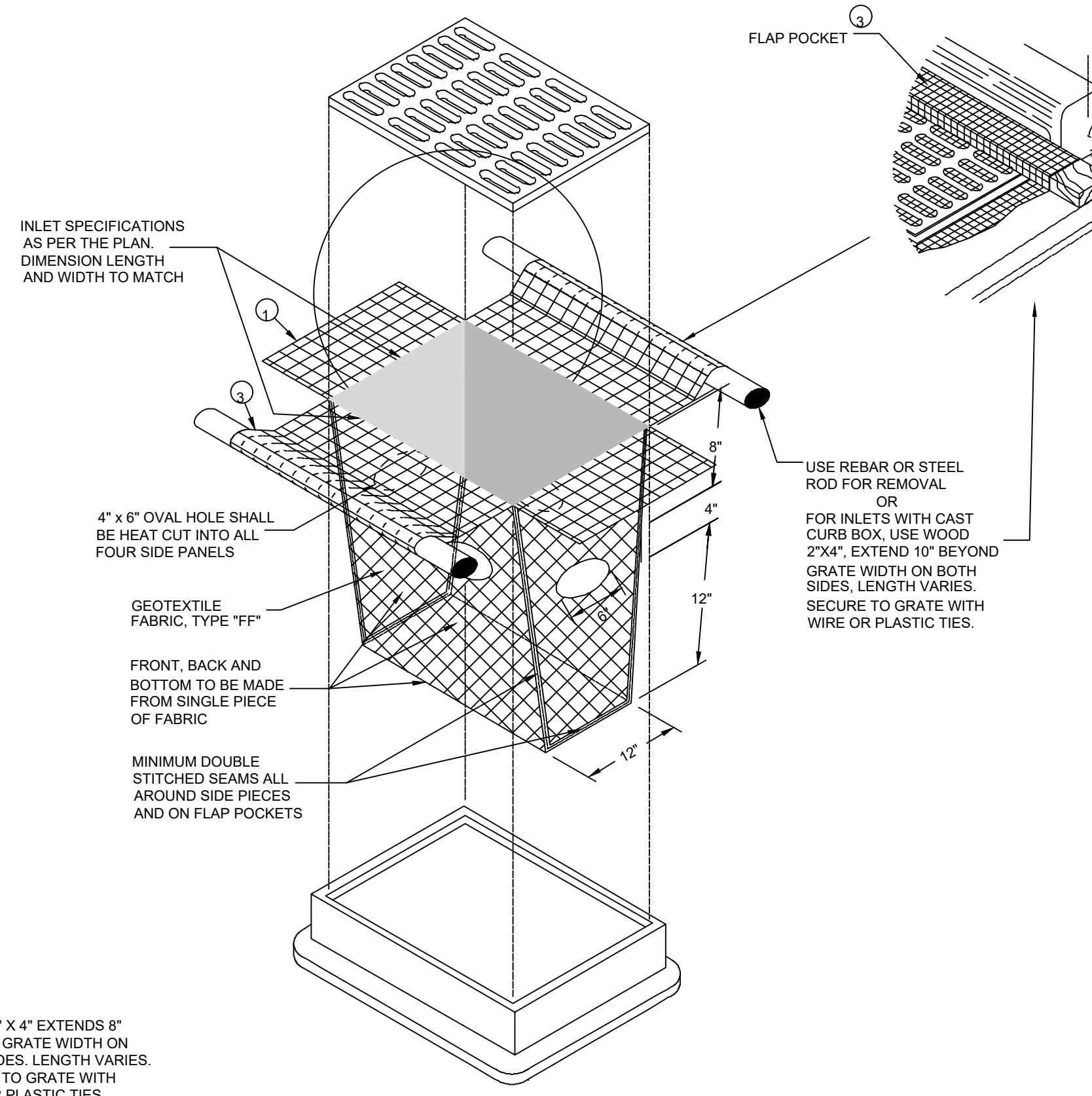
INLET PROTECTION, TYPE "A"



INLET PROTECTION, TYPE "B" (WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

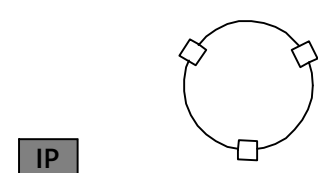


INLET PROTECTION, TYPE "C" (WITH CURB BOX)

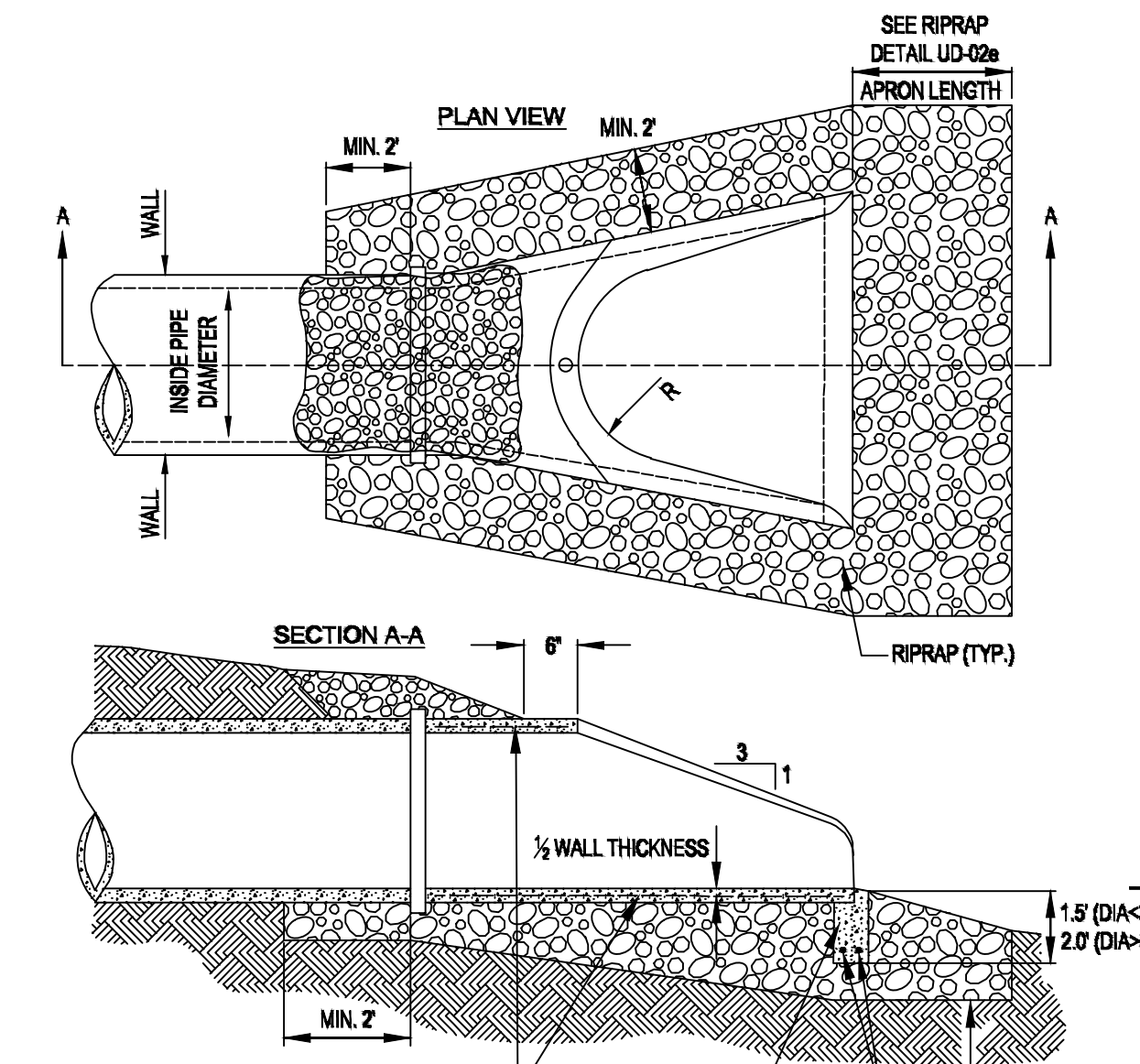


INLET PROTECTION, TYPE "D" (CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE (2))

PLAN SYMBOL



INLET PROTECTION DETAIL



RIP RAP - GENERAL NOTES

- CONCRETE FLARED END SECTIONS SHOULD BE CONSIDERED FOR USE WITH CONCRETE PIPE CULVERTS HAVING SKEWS NO GREATER THAN 15 DEGREES.
- PRECAST CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M-170 CLASS 111, WALL B REINFORCED CONCRETE PIPE.
- PRECAST CONCRETE FLARED END SECTION FOR PIPE DIAMETER REQUIRED SHALL BE AS INDICATED ON DETAIL PLAN FOR EACH INDIVIDUAL INSTALLATION.
- THE END BLOCK SHALL BE PLACED PRIOR TO THE INSTALLATION OF THE FLARED END SECTION. THE END BLOCK SHALL BE BACKFILLED IN ACCORDANCE WITH ART. 502.10 OF THE STANDARD SPECIFICATIONS. THIS COST SHALL BE INCIDENTAL TO EACH END SECTION.
- RIPRAP SHALL CONFORM TO SECT. 281 OF THE STANDARD SPECIFICATIONS.
- INSTALL FILTER FABRIC UNDER ALL RIPRAP AND BEDDING. FILTER FABRIC SHALL CONFORM TO SECT. 282 OF THE STANDARD SPECIFICATIONS.

RIP RAP DETAIL

GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPES B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

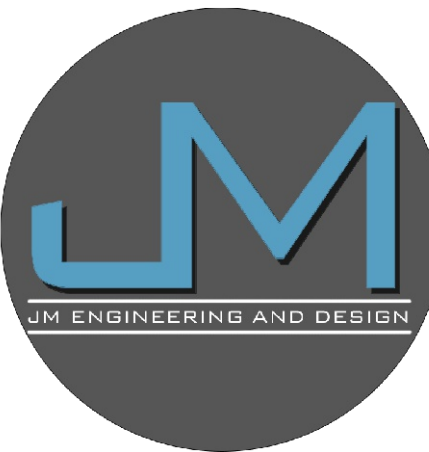
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

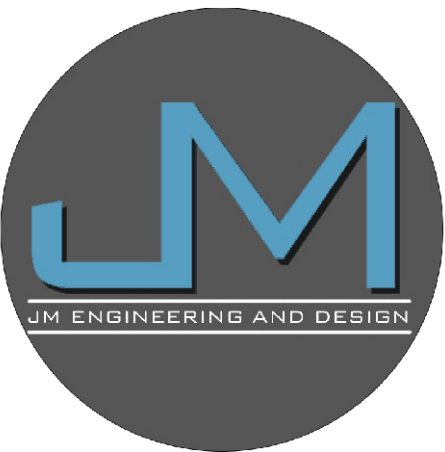
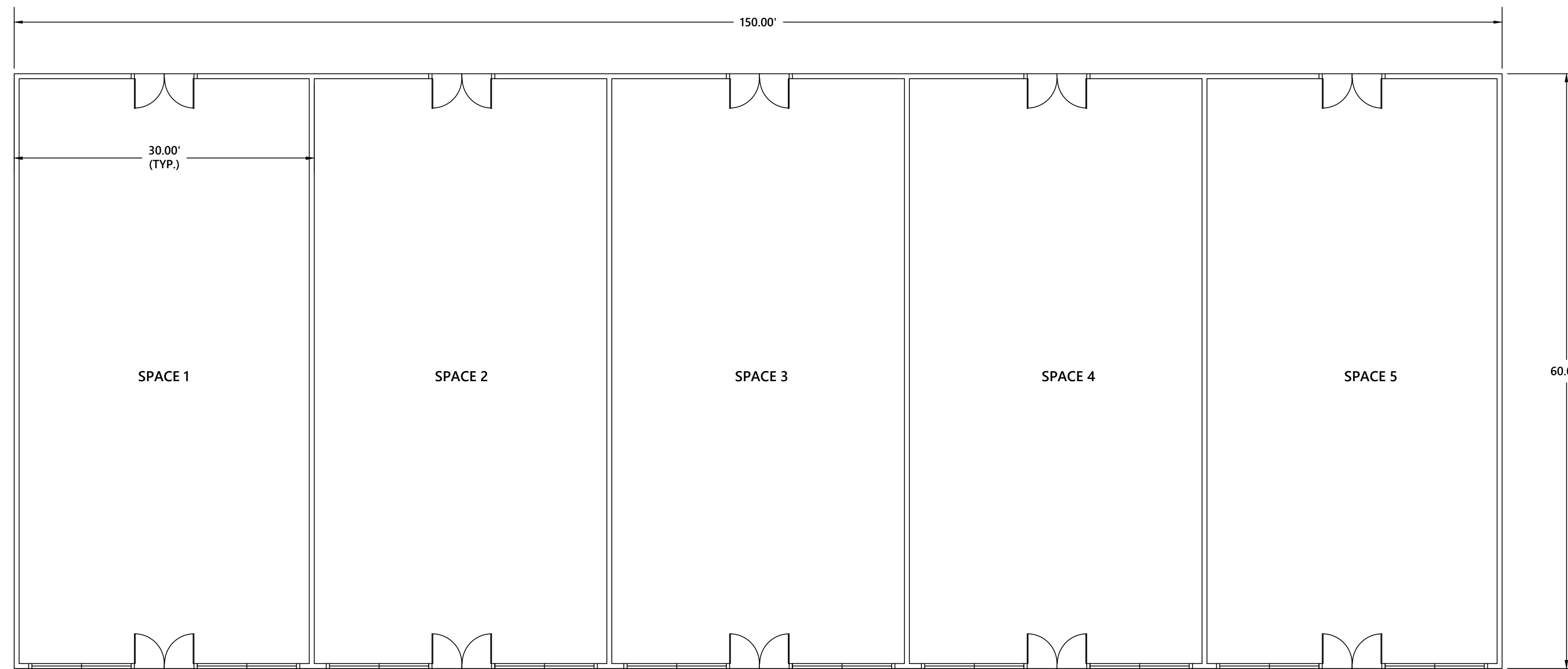
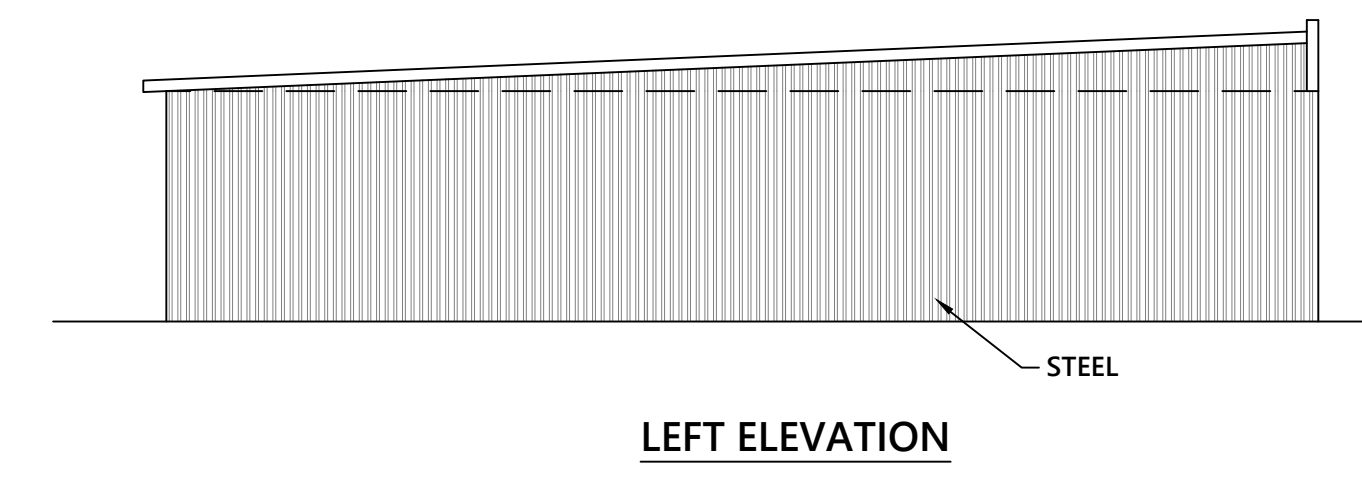
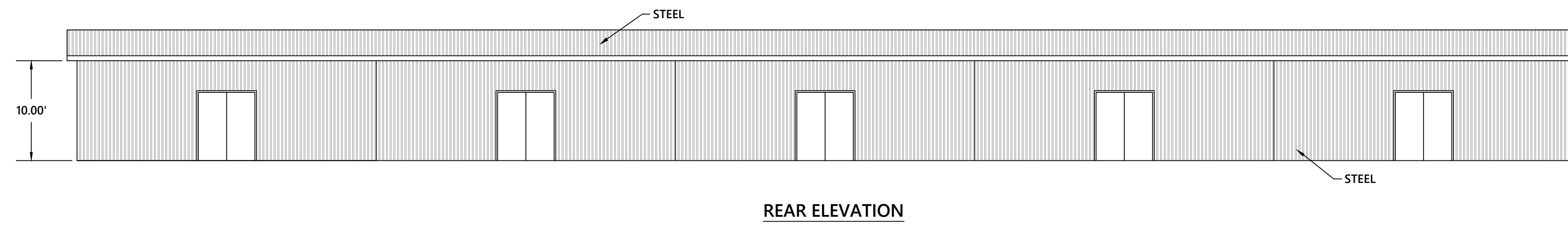
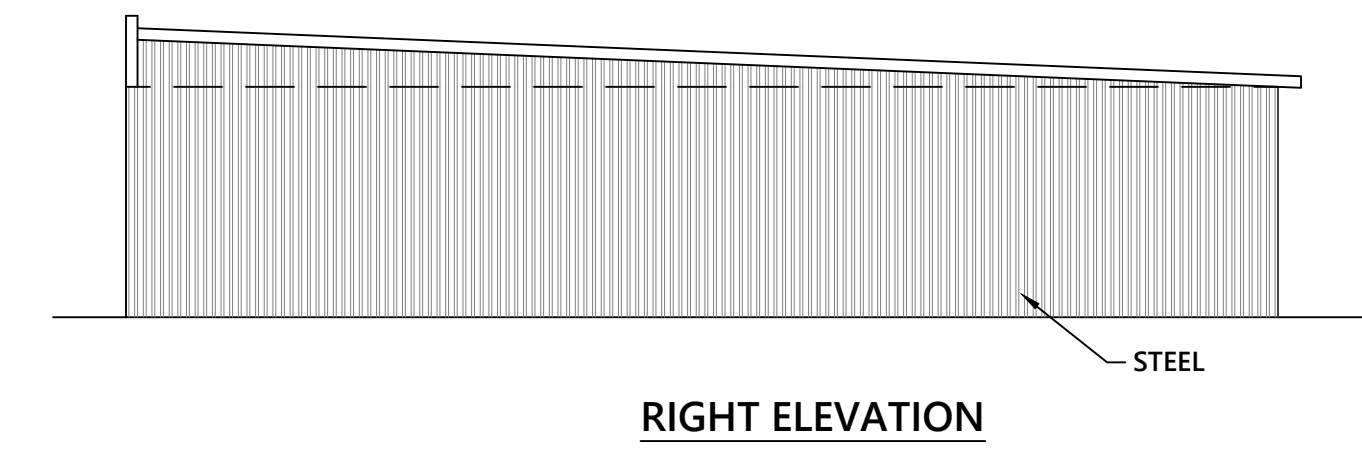
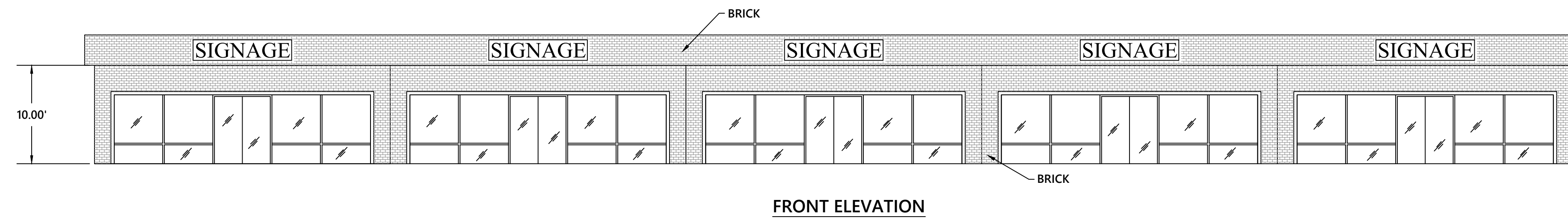


JM ENGINEERING AND DESIGN, LLC  
OXFORD, MS  
(662) 801-8803

EROSION CONTROL DETAILS  
PINE CREST COVE - PHASE 2  
CAMP GROUND ROAD  
LAFAYETTE COUNTY, MISSISSIPPI

DRAWN BY	JRM
CHECKED BY	JRM
PROJECT NO.	XXXX
DATE	04/01/2026
SCALE	
REVISION	06/15/2026

C-804



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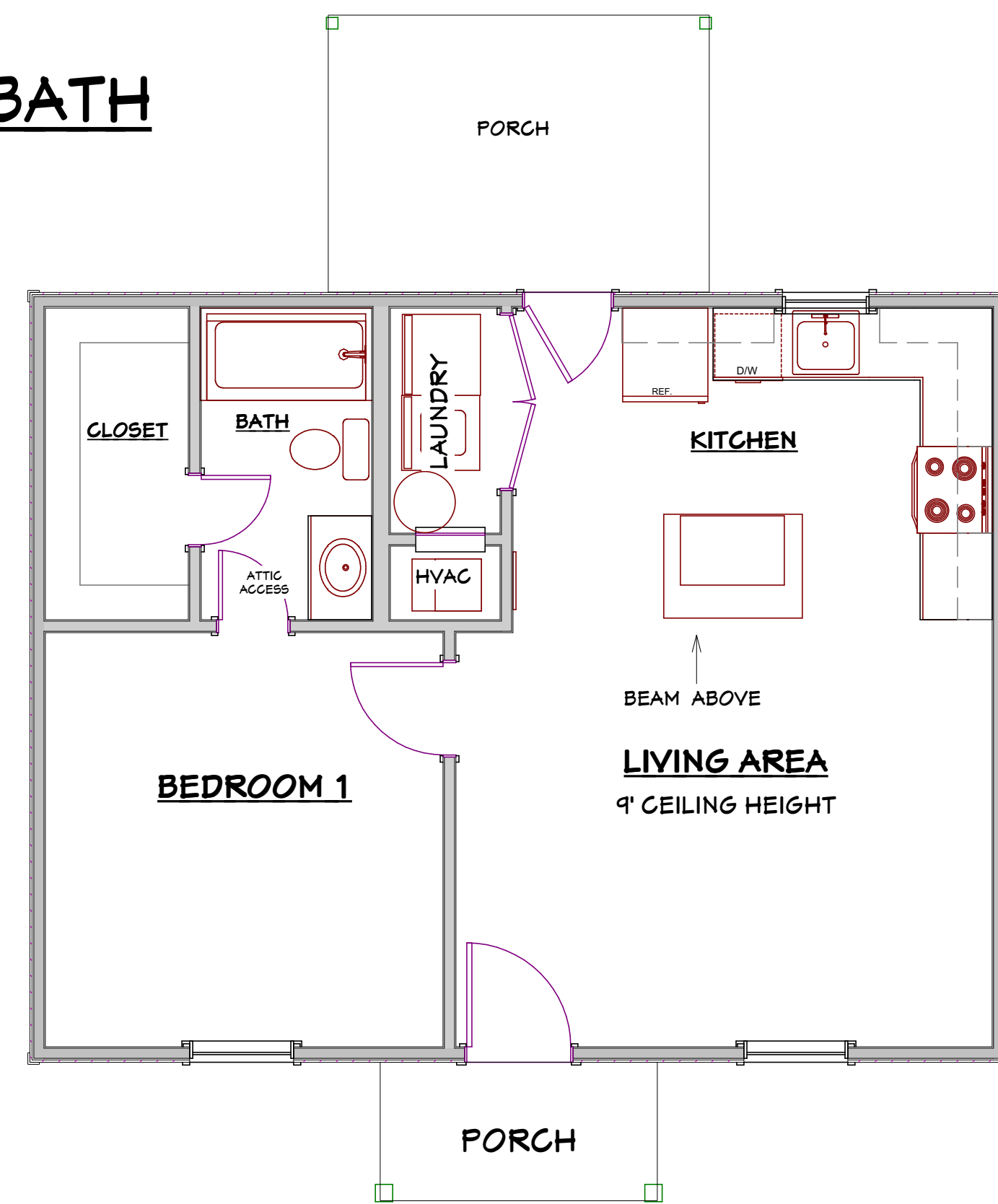
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THESE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE STRUCTURAL ELEMENTS MUST BE VERIFIED AND DETERMINED BY A QUALIFIED PARTY. THE BUILDER IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES & ORDINANCES.



ONE BEDROOM / ONE BATH



22' x 28'  
616 square feet HEATED  
120 square feet PORCHES

FLOOR PLAN SCALE: 1/4" = 1'



TWO BEDROOM / TWO BATH



30' x 32'  
960 square feet heated  
120 square feet of porch

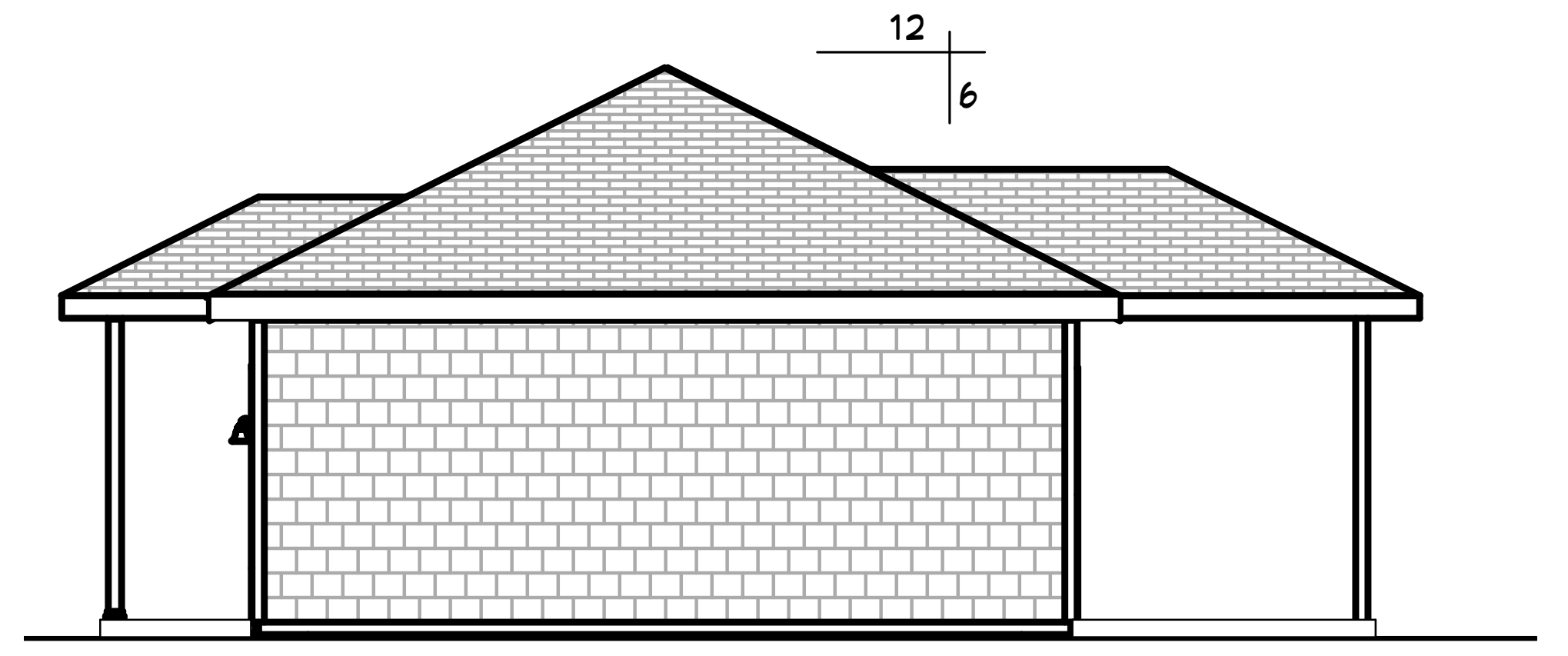
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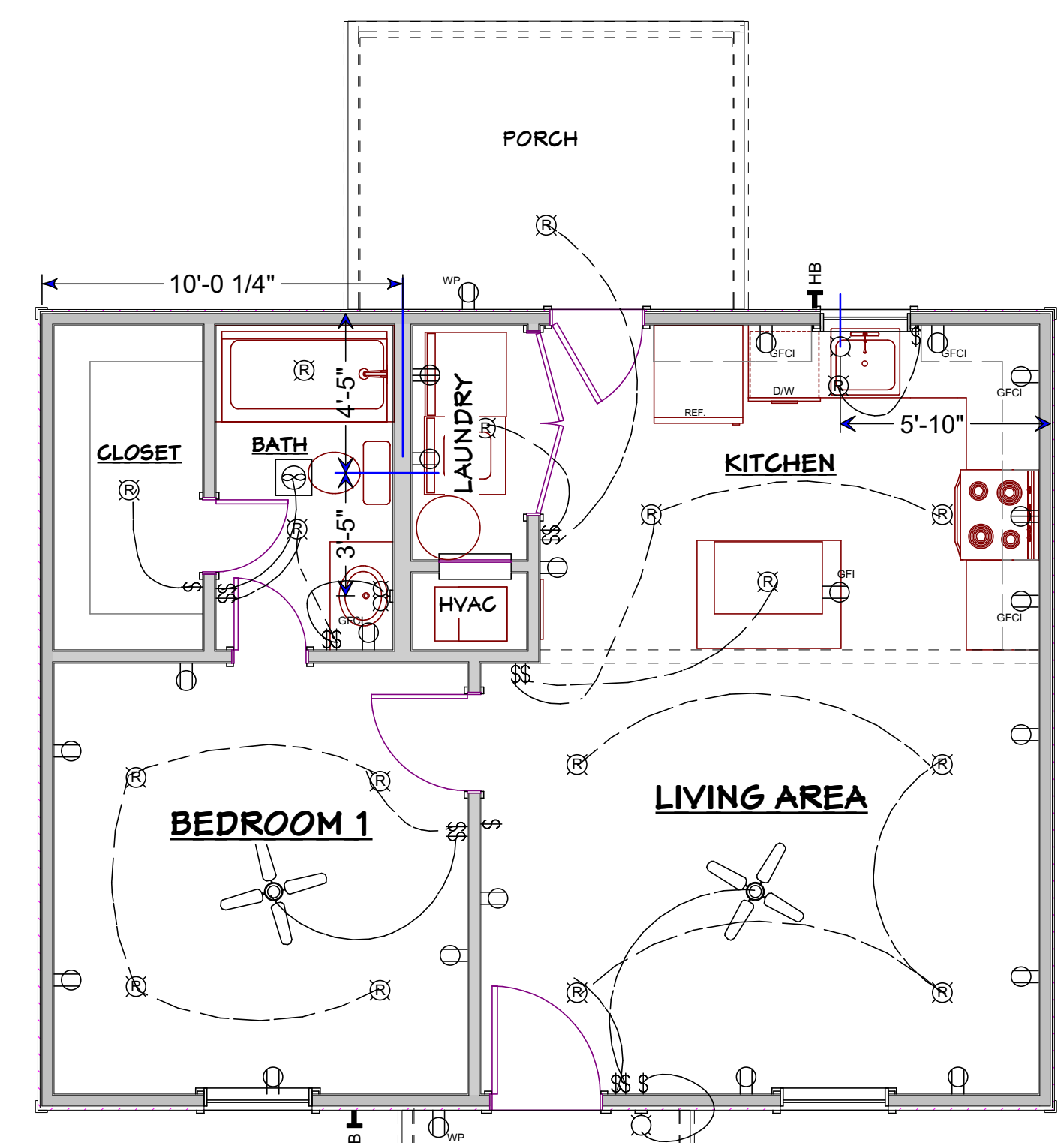
**REAR EXTERIOR ELEVATION** SCALE: 1/4" = 1'



**FRONT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



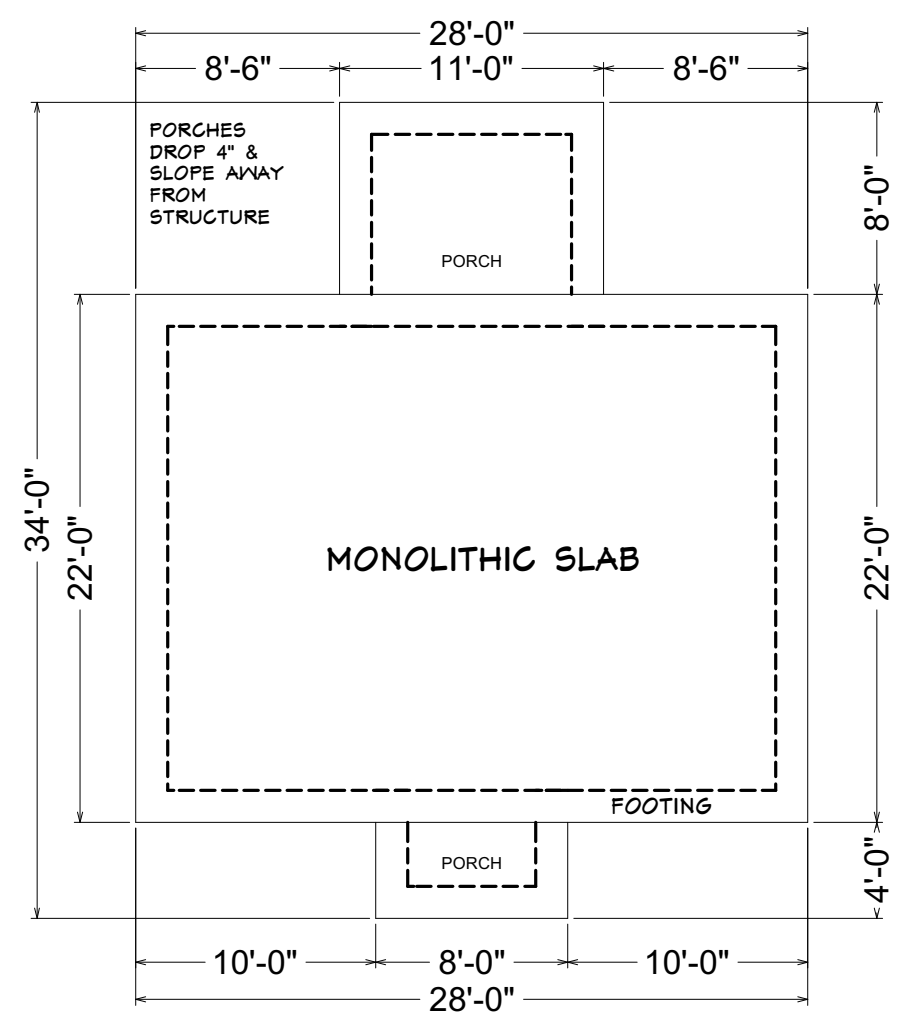
**RIGHT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



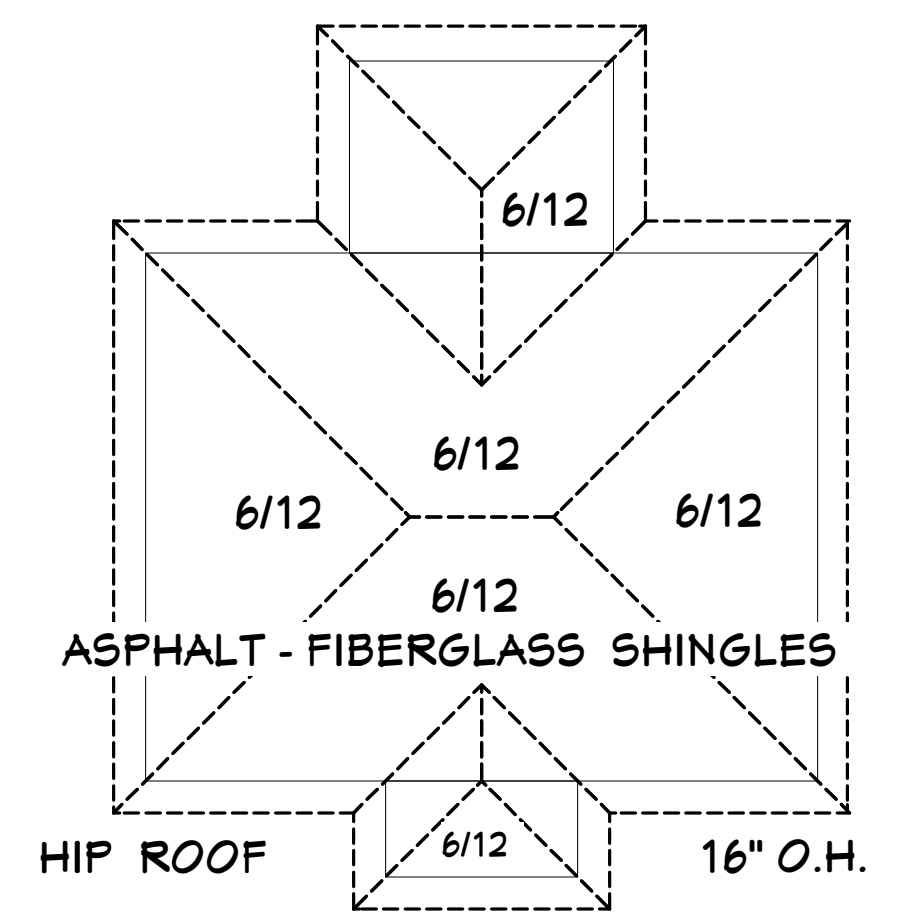
**ELECTRICAL LAYOUT**

ELECTRICAL - LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Telephone Jack
	Electrical Breaker Panel
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted

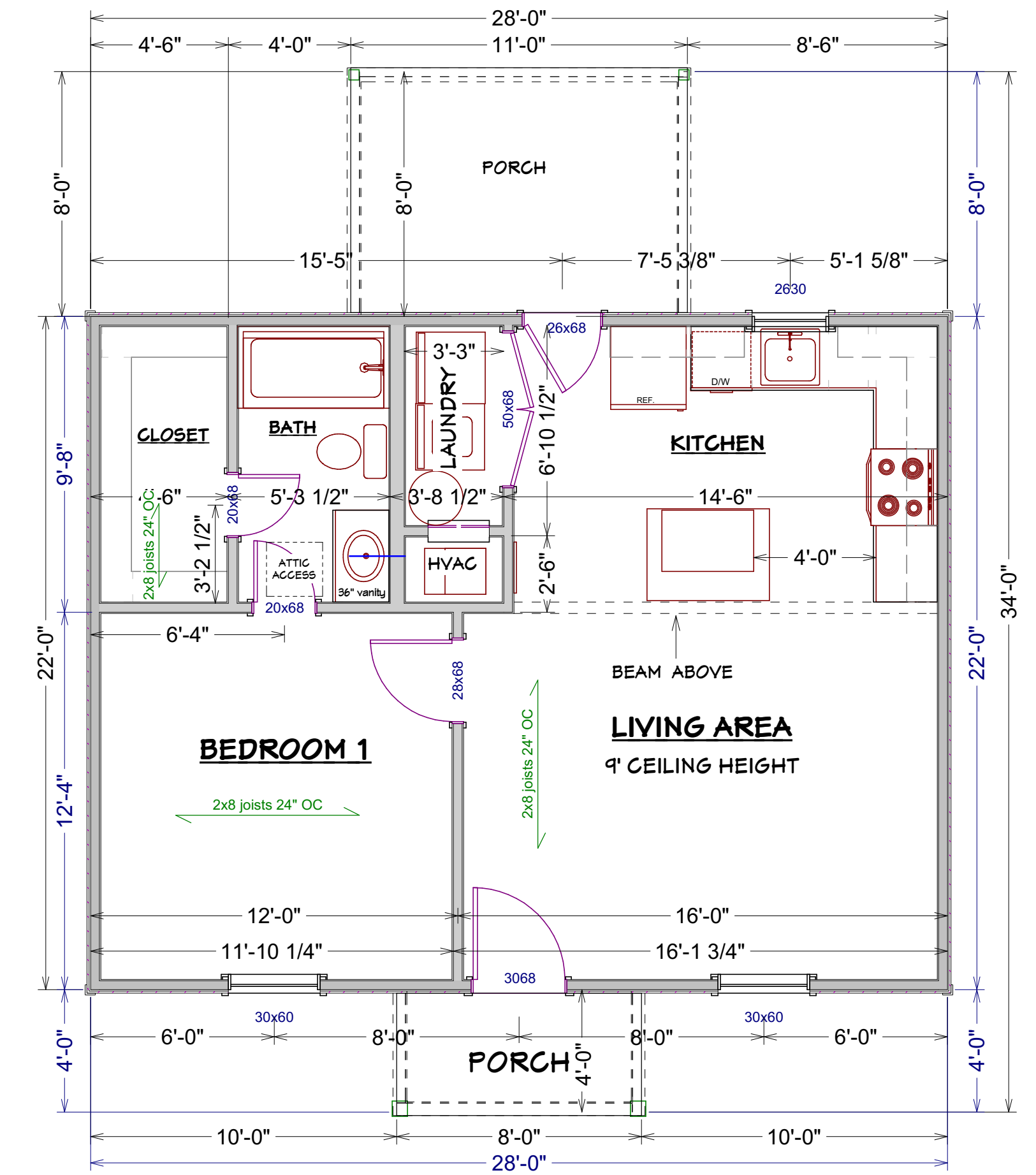
A 110 V HARD WIRED, INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP SHALL BE INSTALLED IN LOCATIONS PRESCRIBED BY 2006 INTERNATIONAL RESIDENTIAL CODE.



**FOUNDATION PLAN** SCALE: 1/8" = 1'

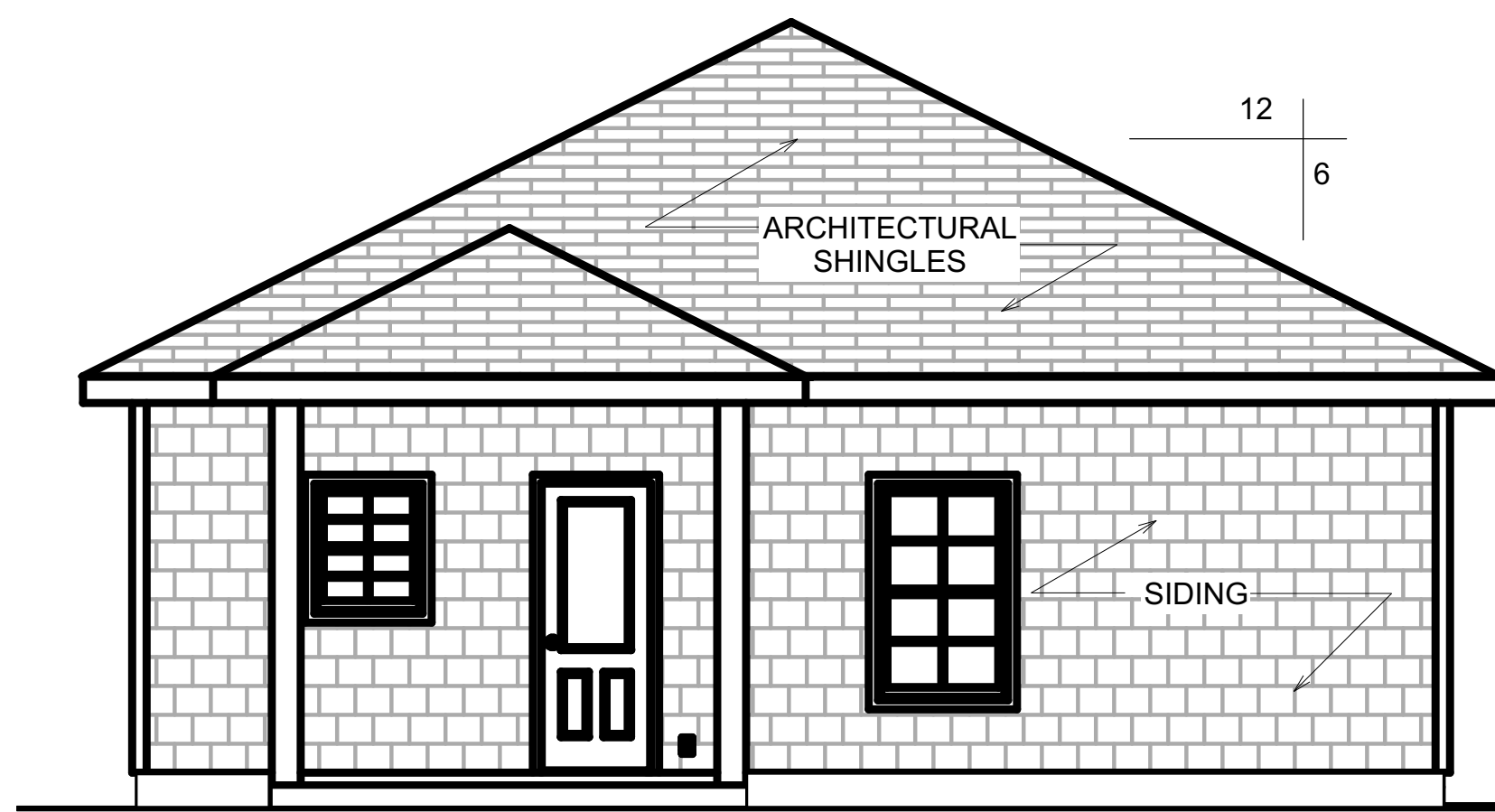


**ROOF PLAN** SCALE 1/8" = 1'

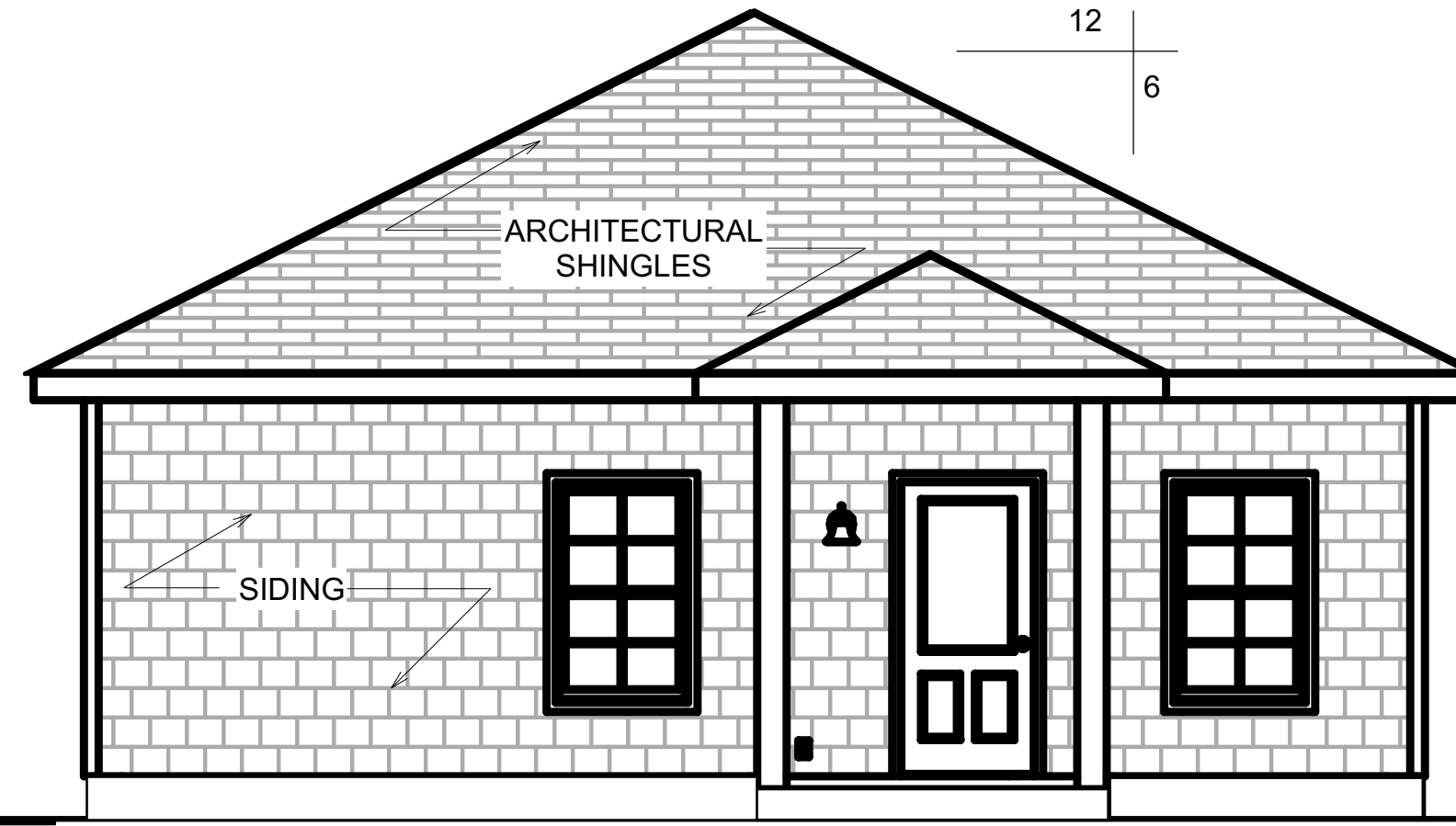


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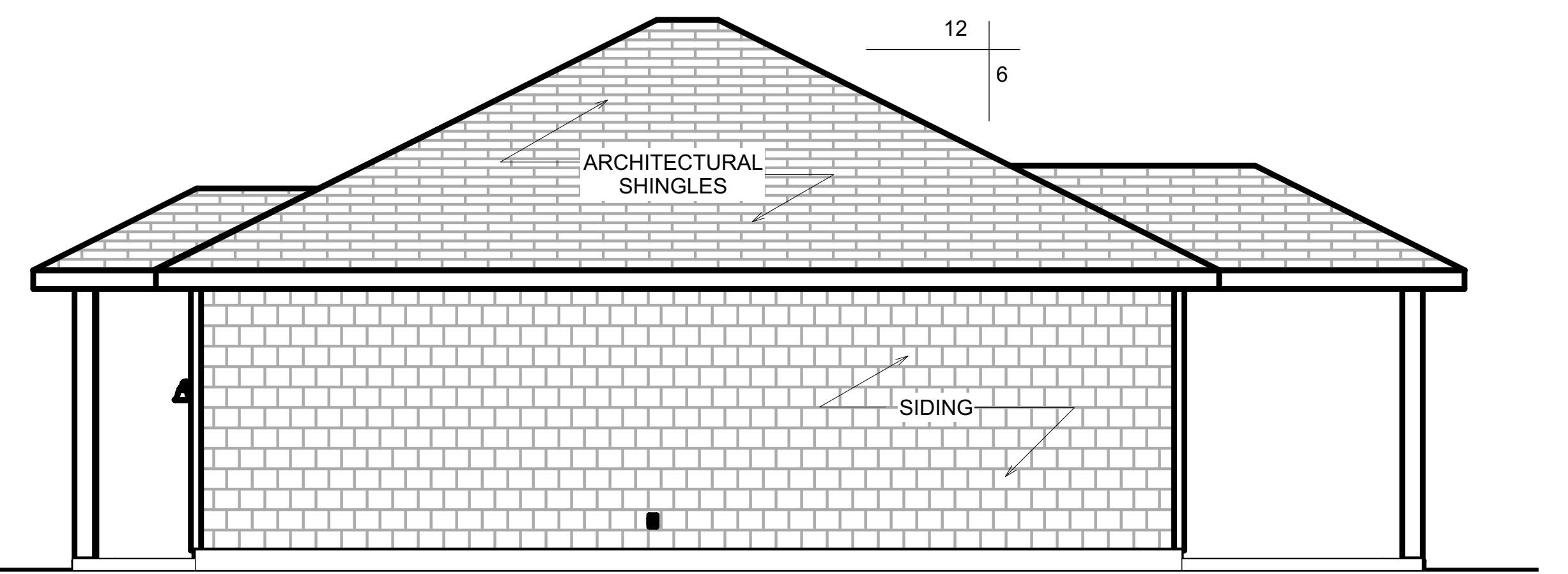
**FLOOR PLAN** SCALE: 1/4" = 1'



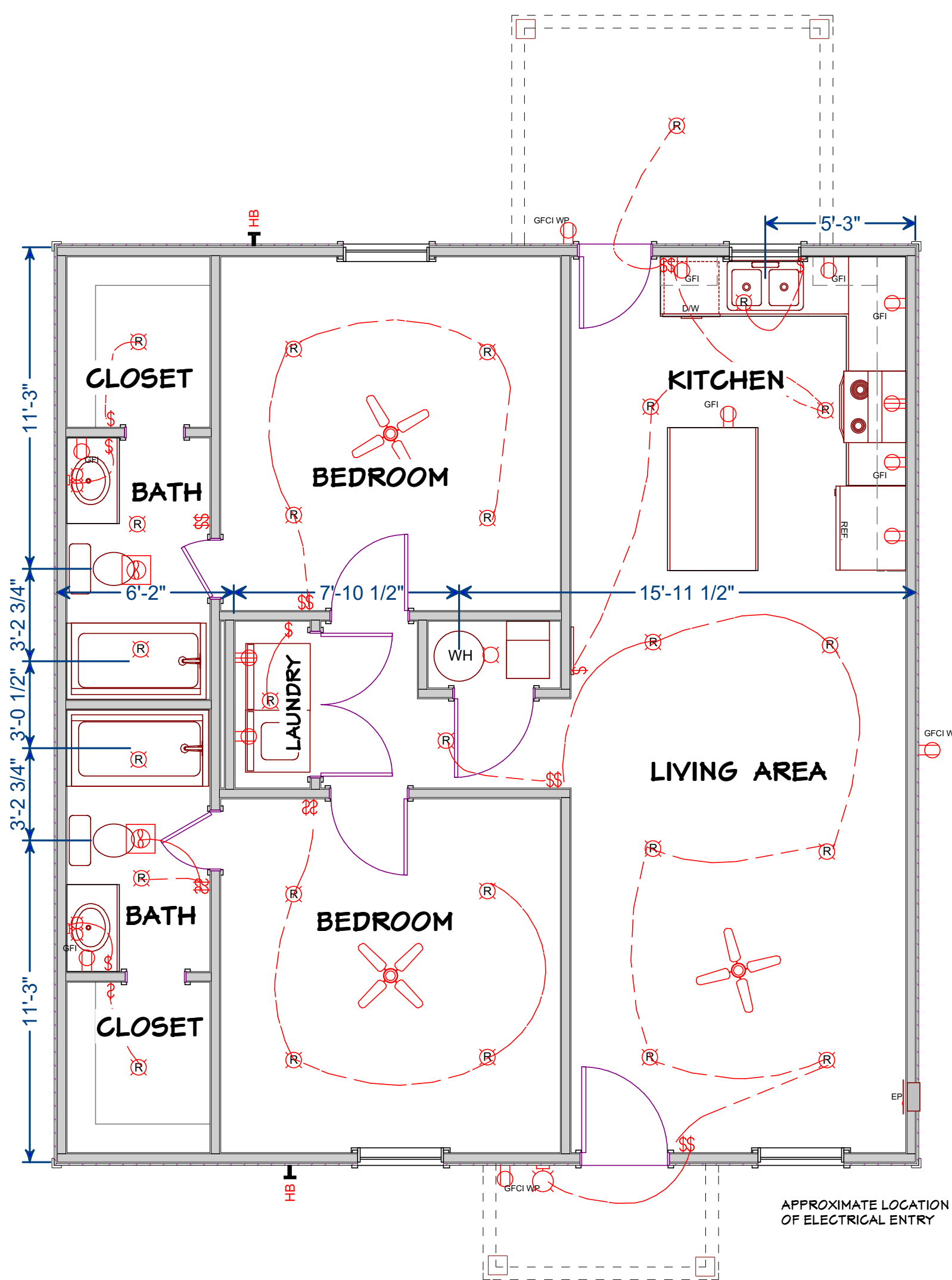
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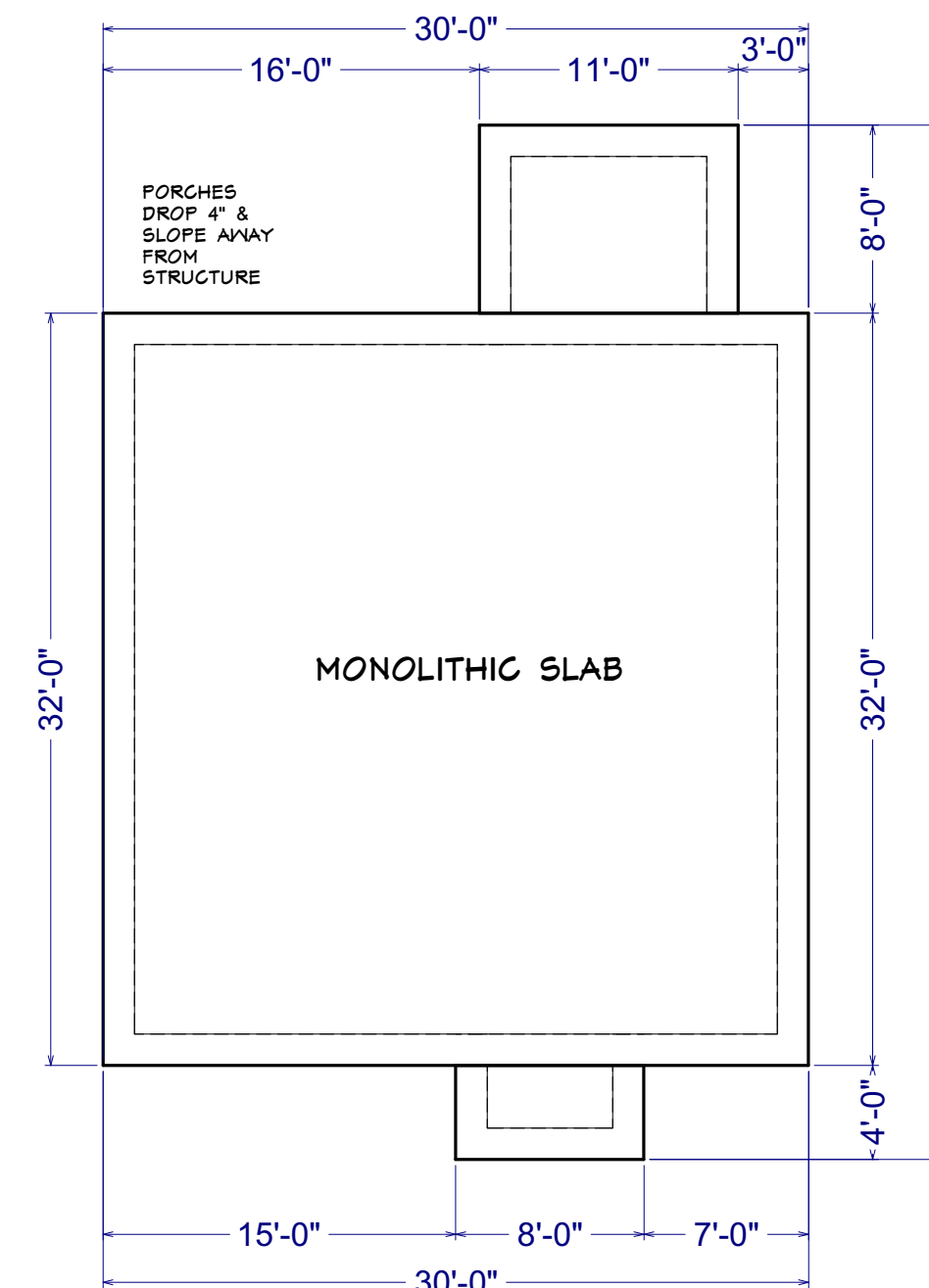
**RIGHT EXTERIOR ELEVATION** SCALE: 1/4" = 1'



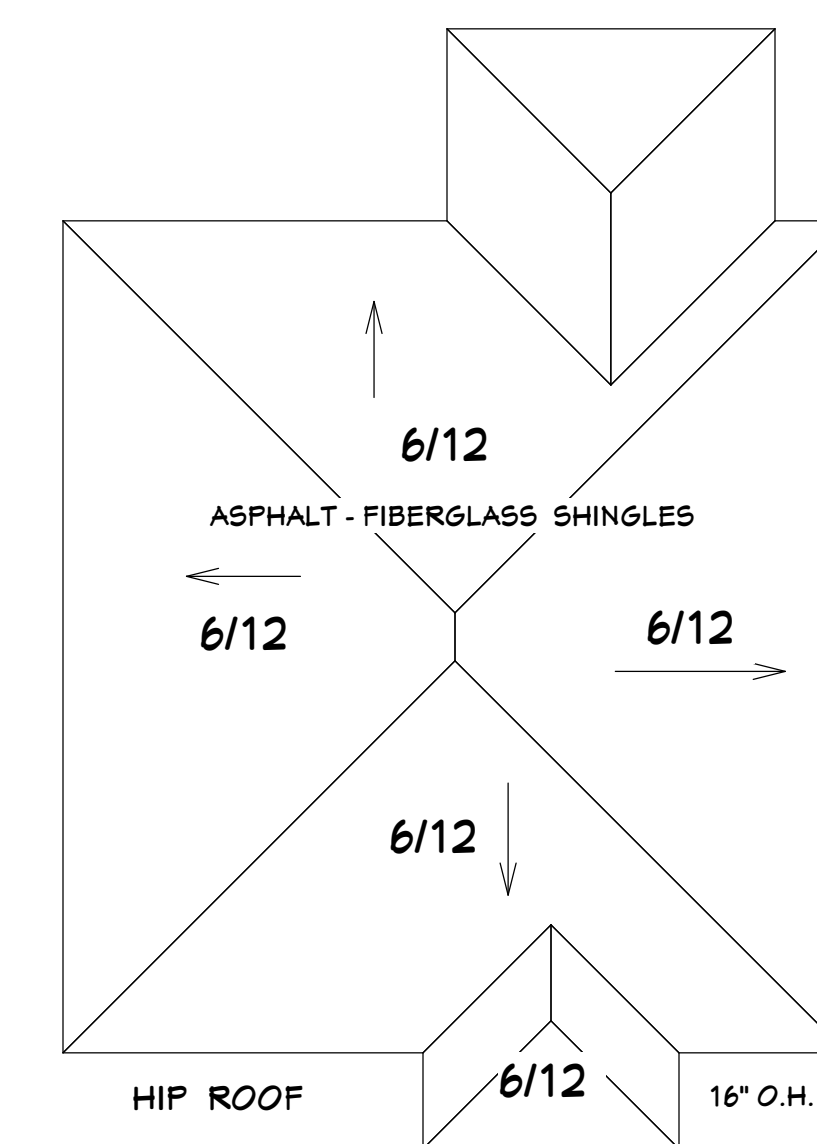
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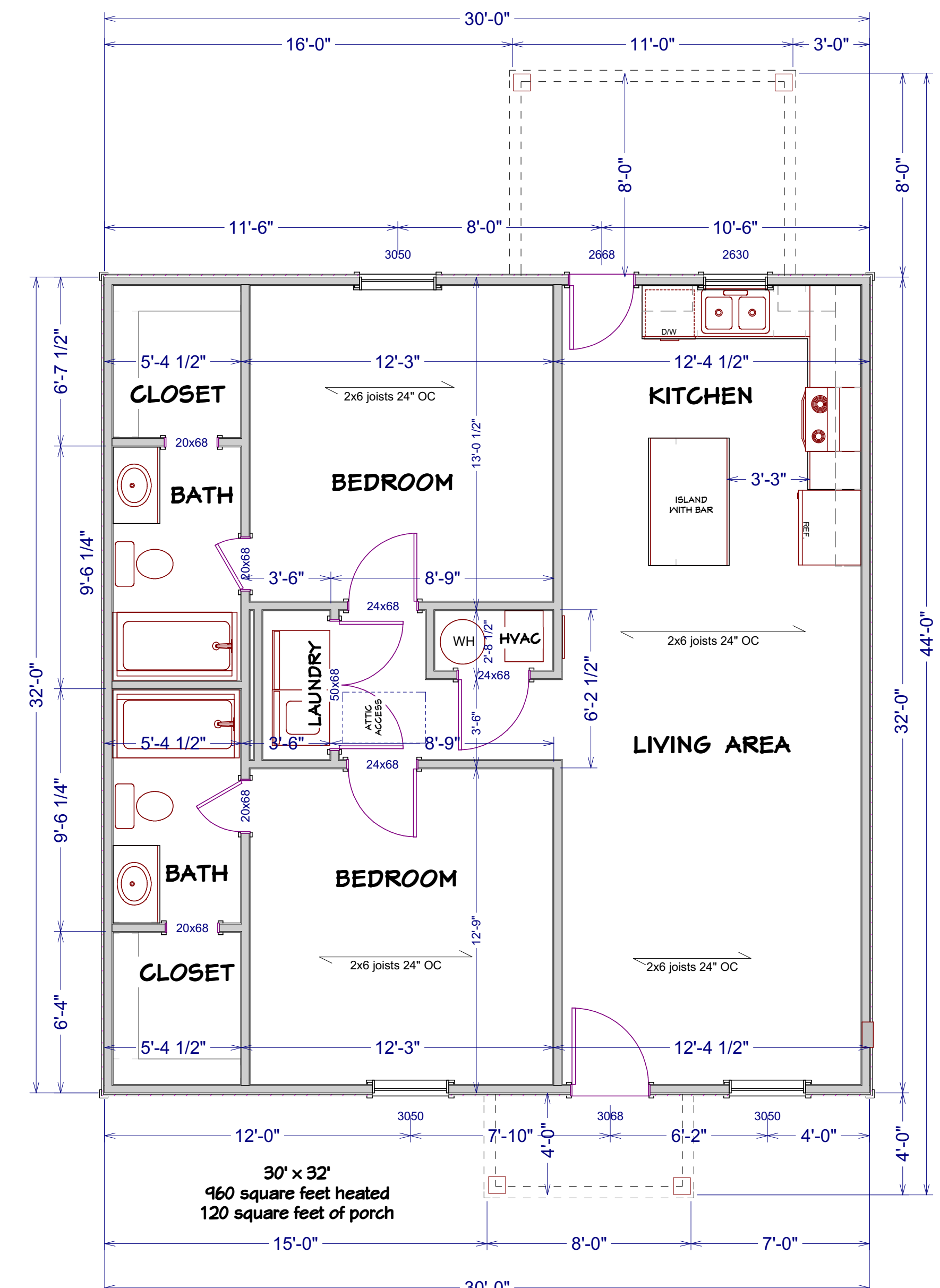
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**ROOF PLAN** SCALE: 1/8" = 1'



**FLOOR PLAN** SCALE: 1/4" = 1'